



REGULAR MEETING OF COUNCIL
Tuesday, September 26, 2023 @ 4:00 PM
Ucluelet Community Centre
500 Matterson Drive, Ucluelet

AGENDA

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1. CALL TO ORDER	
1.1 ACKNOWLEDGEMENT OF THE YUULUʔIŁʔATH Council would like to acknowledge the Yuuluʔiłʔath, on whose traditional territories the District of Ucluelet operates.	
1.2 NOTICE OF VIDEO RECORDING Audience members and delegates are advised that this proceeding is being video recorded and broadcast on YouTube and Zoom, which may store data on foreign servers.	
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3. APPROVAL OF THE AGENDA	
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• Joshua Jenkins, Executive Director, Ucluelet Chamber of Commerce Re: Ucluelet Economic Readiness Strategy 2023-09-26 Delegation Redacted 2023-09-26 Delegation Supporting Materials	29 - 35
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- 9.1 Request for your attention to an important issue 85 - 89
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Stewart Guy, Executive Director, BC Nature Federation of BC Naturalists
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11. MAYOR'S ANNOUNCEMENTS AND COUNCIL COMMITTEE REPORTS
- 11.1 Councillor Shawn Anderson
Deputy Mayor, April 1 - June 30, 2023
- 11.2 Councillor Jennifer Hoar
Deputy Mayor, January 1 - March 31, 2023
- 11.3 Councillor Ian Kennington
Deputy Mayor, July 1 - September 30, 2023
- 11.4 Councillor Mark Maftei
Deputy Mayor, October 1 - December 31, 2023

11.5 Mayor Marilyn McEwen

12. QUESTION PERIOD

13. CLOSED SESSION

13.1 Procedural Motion to Move In-Camera

THAT the meeting be closed to the public in order to address agenda items under Section 90(1)(e) & (i) of the Community Charter:

(e) the acquisition, disposition or expropriation of land or improvements, if the council considers that disclosure could reasonably be expected to harm the interests of the municipality;

(i) the receipt of advice that is subject to solicitor-client privilege, including communications necessary for that purpose;

14. ADJOURNMENT

DISTRICT OF UCLUELET
MINUTES OF THE REGULAR COUNCIL MEETING
HELD IN THE UCLUELET COMMUNITY CENTRE, 500 MATTERSON DRIVE
Tuesday, September 5, 2023 at 4:00 PM

Present: **Chair:** Mayor McEwen
 Council: Councillors Anderson, Hoar, Kennington, and Mafei
 Staff: Duane Lawrence, Chief Administrative Officer
 Bo Gill, Chief Financial Officer
 Bruce Greig, Director of Community Planning
 Abby Fortune, Director of Parks and Recreation
 James MacIntosh, Director of Engineering Services
 Samantha McCullough, Manager of Human Resources and Communications

Regrets:

1. CALL TO ORDER

The meeting was called to order at 4:00 PM.

1.1 ACKNOWLEDGEMENT OF THE YUULU?IL?ATH
Council acknowledged the Yuulu?il?ath, on whose traditional territories the District of Ucluelet operates.

1.2 NOTICE OF VIDEO RECORDING
Audience members and delegates were advised that the proceeding was being video recorded and broadcasted on YouTube and Zoom, which may store data on foreign servers.

2. LATE ITEMS

There were no late items.

3. APPROVAL OF THE AGENDA

3.1 September 5, 2023, Regular Council Meeting Agenda

2023.2231.REGULAR *It was moved and seconded **THAT** the September 5, 2023, Regular Council Meeting agenda be approved as presented.*

CARRIED.

4. ADOPTION OF MINUTES

4.1 August 8, 2023, Regular Minutes

2023.2232.REGULAR *It was moved and seconded **THAT** the August 8, 2023, Regular Council Meeting Minutes be adopted as presented.*

CARRIED.

5. PUBLIC INPUT & DELEGATIONS

5.1 Delegations

Don MacKinnon

Re: Application for Water Connection

Mr. MacKinnon addressed his application for water connection for his residence on Thornton Road in the Alberni-Clayoquot Regional District. Mr. MacKinnon detailed the history and the work that has been done for the project thus far.

2023.2233.REGULAR *It was moved and seconded **THAT** Council refer this matter to Staff for a future report.*

CARRIED.

6. UNFINISHED BUSINESS

There was no unfinished business.

7. BYLAWS

7.1 Finance Officer Appointment *Duane Lawrence, CAO*

Mr. Lawrence introduced the District of Ucluelet's new Director of Finance Bo Gill. Mr. Lawrence outlined the process of appointing a new Chief Financial Officer. Mr. Lawrence noted that Mr. Gills legal name will be used for the resolutions.

2023.2234.REGULAR *It was moved and seconded **THAT** Council rescind the appointment of Duane Lawrence as the District of Ucluelet Finance Officer effective September 5, 2023.*

CARRIED.

2023.2235.REGULAR *It was moved and seconded **THAT** Council appoint Bhopinder Gill as a District of Ucluelet authorized signatory effective September 6, 2023.*

CARRIED.

2023.2236.REGULAR *It was moved and seconded **THAT** Council appoint Bhopinder Gill as the District of Ucluelet Finance Officer effective September 6, 2023.*

CARRIED.

2023.2237.REGULAR *It was moved and seconded **THAT** Council appoint the Director of Finance as the authorized Collector.*

CARRIED.

8. REPORTS

8.1 Edge to Edge Marathon Annual Road Closure

Abby Fortune, Director of Parks & Recreation

Ms. Fortune provided an overview of the road closures required for the Edge to Edge Marathon.

2023.2238.REGULAR *It was moved and seconded **THAT** Council authorize the annual closure of a portion of Marine Drive from Matterson Road to Peninsula Road from 8:30 am to 10:30 am and Marine Drive from Rainforest Drive to Matterson Road from 6:00 am to 5:00 pm for the Edge to Edge Marathon on the third Sunday of October.*

CARRIED.

8.2 Recreation & Parks Master Plan Outline

Abby Fortune, Director of Parks & Recreation

Ms. Fortune provided an overview of the Parks and Recreation Master plan and described the plans objectives. Council discussed the process of land acquisition for new District parks.

2023.2239.REGULAR *It was moved and seconded **THAT** Council approve the Recreation & Parks Master Plan objectives and key strategies as outlined in the report.*

CARRIED.

8.3 Larch Road Multi- Use Path Contract Authorization

James MacIntosh, Director of Engineering Services

Mr. MacIntosh provided a summary of the Larch Road Multi-Use Path contract, and described the next steps of the project following contract approval. Council discussed the cost estimate as well as the total project budget and associated grants.

2023.2240.REGULAR *It was moved and seconded **THAT** Council authorize the Mayor and Corporate Officer to execute a contract between the District of Ucluelet and Bowerman Construction Ltd. for \$444,104 plus G.S.T. to construct the Larch Road Multi-Use Path.*

CARRIED.

8.4 The Cabins at Terrace Beach - Occupancy and S.219 Covenant

Bruce Greig, Director of Community Planning

Mr. Grieg discussed the history of the Statutory Right of Way for the Cabins at Terrace Beach. Council discussed the details of the natural water course and the process of granting occupancy for the remaining cabins.

2023.2241.REGULAR *It was moved and seconded **THAT** Council direct staff that, despite the restrictions agreed to by the landowner in registered covenant CA9320013, occupancy permits may be granted for 10 of the 12 new buildings at The*

Cabins at Terrace Beach ahead of consolidating the subject parcels and registration of a statutory right-of-way for the proposed public trails.

CARRIED.

9. NOTICE OF MOTION

There were no notices of motion.

10. CORRESPONDENCE

10.1 MIABC AGM Invitation

Heidi Scribner, Administrator & Board Secretary MIABC

Council discussed who the voting members are for this organization.

10.2 Ucluelet & Area Historical Society Request

Claudia Cole, Vice President UAHS

Claudia Cole responded to Council questions about the potential new pavilion and its proposed location.

2023.2242.REGULAR *It was moved and seconded **THAT** Council refer this matter to Staff for a future report.*

CARRIED.

10.3 BC Forest Practices

Keith Atkinson, Chair, BC Forest Practices Board

Council mentioned that BC Forest Practices will have a booth at the Union of BC Municipalities annual convention.

10.4 Transportation Advisory Committee

Heather Zenner, MA, Manager of Administrative Services ACRD

Council discussed the background on the Transportation Advisory Committee, and appointed a District representative for the committee by way of resolution.

2023.2243.REGULAR *It was moved and seconded **THAT** Council appoint Mayor Marilyn McEwen as the District's representative on the Alberni-Clayoquot Regional District Transportation Advisory Committee.*

CARRIED.

10.5 Oceans Protection Plan Pacific Dialogue Forum

The OPP Dialogue Forum Team

Councillor Maftei will attend this event remotely.

10.6 Mayoral Roundtable at UEF5+WPC59 Conference Invitation

Fazileh Dadvar-Khani, World Urban Pavilion

10.7 Open-Net Pen Transition Plan Engagement Session- Sept 7, 2023
Fisheries and Oceans Canada's

Councillor Anderson will attend this event.

10.8 Statistics Canada – A Data Story in Vancouver Invitation
Région de l'Ouest-Engagement, Statistique Canada

10.9 Food Security Emergency Planning and Preparedness Fund
Amy Needham, ACRD Sustainability Planner

10.10 BC Epilepsy Society Proclamation Request
Sonia Ali, Provincial Manager of Programs and Services - BC Epilepsy Society

Council mentioned that the District will light-up the municipalities sign at the Junction in 2024 in recognition BC Epilepsy week.

10.11 Temporary Relocation- LCRB Engagement
Monika Laube, External Engagement and Outreach Specialist, The Liquor and Cannabis Regulation Branch

11. INFORMATION ITEMS

There were no information items.

12. MAYOR'S ANNOUNCEMENTS AND COUNCIL COMMITTEE REPORTS

12.1 Councillor Shawn Anderson
Deputy Mayor, April 1 - June 30, 2023

Councillor Anderson noted that he was preparing to meet with the Minister of Health at the Union of BC Municipalities annual convention (UBCM). He noted that the meeting request was not supported and would look at a meeting opportunity for the next UBCM Conference.

12.2 Councillor Jennifer Hoar
Deputy Mayor, January 1 - March 31, 2023

12.3 Councillor Ian Kennington
Deputy Mayor, July 1 - September 30, 2023

12.4 Councillor Mark Maftai
Deputy Mayor, October 1 - December 31, 2023

12.5 Mayor Marilyn McEwen

Mayor McEwen mentioned the Districts recent implementation of Stage 1 water restrictions beginning on September 1.

The Mayor attended the following events:

- Two Local Leaders Team Meetings on August 18th and 25th regarding the Hwy 4 closures;
- Two Resort Community Mayors meetings to prepare for UBCM on August 23rd and 31st; and,
- The August 23rd Alberni-Clayoquot Regional District Board of Directors meeting.

The Mayor plans to attend the following events:

- The Dustin Riley Memorial Soapbox Derby on September 9th;
- The Salmon Festival at the Seaplane base on September 10th; and
- The Multiplex Society 23rd Annual Golf Tournament on September 23rd.

13. QUESTION PERIOD

There were no questions.

14. CLOSED SESSION

14.1 Procedural Motion to Move In-Camera

2023.2244.REGULAR *It was moved and seconded **THAT** the meeting be closed to the public in order to address agenda items under Section 90(1), (c), (g) & (k) of the Community Charter.*
(c) labour relations or other employee relations; (g) litigation or potential litigation affecting the municipality; (k) negotiations and related discussions respecting the proposed provision of a municipal service that are at their preliminary stages and that, in the view of the council, could reasonably be expected to harm the interests of the municipality if they were held in public;

CARRIED.

The meeting was closed to the public at 5:08 PM and returned to open session at 8:08 PM.

15. ADJOURNMENT

Meeting was adjourned at 8:08 PM.

CERTIFIED CORRECT: Minutes of the Regular Council Meeting held on Tuesday, September 5, 2023 at 4:00 pm in the Ucluelet Community Centre 500 Matterson Road, Ucluelet, BC.

Duane Lawrence, Corporate Officer

Marilyn McEwen, Mayor



**MONTHLY
Mayor's / Chief's / President's
POLICING REPORT
August, 2023
Ucluelet Detachment
"E" Division
British Columbia**



Royal Canadian Mounted Police Gendarmerie royale du Canada

Calls for Service: 135

Annual Performance Plan (A.P.P.'S) Community Priorities

- (1) Crime Reduction
 - a) Speed Enforcement / Awareness

- (2) Build and Maintain Relations with the Community
 - a) Community Involvement
 - b) Reconciliation

- (3) Vulnerable Persons
 - a) Community Referrals

High Risk Charges

Domestic Violence Charges: 1

Sexual Assault Charges: 0

Crime Reduction

Road Safety

Check stops: 0

Impaired Driving: 7 files no charges

Traffic Tickets: 1

Written Warning: 2

Build and Maintain Relations with the Community

Community Involvement

- Members conducted joint ATV patrols with Parks Canada.

Reconciliation

- Cst. HARRY continues to dedicate a considerable amount of his personal time by participating in the following:
 - a) Attended to the Youth summer program
 - b) Attended men's group dinner
 - c) Having lunch / tea with the elders
 - d) Attending the youth daycare and walk
 - e) Attending to cultural day and gave a short talk on health and safety
 - f) Attending an elder's walk

- Detachment members have continued to do proactive visits to the communities to open positive interactions with community members.

Vulnerable Persons

Community Referrals

1 for the month of August.

Other Police Services

Criminal Record Checks

Criminal record / Vulnerable Sector checks: 8

OCCURRENCES	Current Month	Year to Date	Current Month of previous year	Previous Year Total
Assaults (Not including sexual assaults)	3	24	10	46
Sexual Offences	1	6	0	12
Break and Enters (Residence & Business)	2	12	0	7
Theft of Motor Vehicle	1	4	1	5
Theft Under \$ 5000.00	2	13	2	22
Theft Over \$ 5000.00	1	6	0	3
Drugs (Possession)	0	4	0	0
Drugs (Trafficking)	0	2	0	3
Causing a Disturbance	11	32	3	32
Liquor Act	7	27	5	40
Mischief - damage to property	2	16	4	37
Mischief - obstruct enjoyment	5	29	1	12
Impaired Driving	8	29	0	28
IRP / 24 hr suspension	2	15	0	10
Utter threats	1	8	2	14
Bylaw	8	26	3	40
Mental Health	8	22	1	28
Total Calls for service	135	829	145	1307

JUSTICE REPORTS	Current Month	Year to Date	Current Month of previous year	Previous Year Total
Victim Services Referral - Accepted	2	4	0	2
Victim Services Referral - Declined	2	9	0	0
Victim Services - Proactive Referral	1	1	0	0
Restorative Justice Referrals	0	0	0	0
Prisoners Held	2	31	5	43
Prisoners escorted	4	7	0	0
Liquor Destroyed Immediately	1	3	0	4

Should you have any questions or concerns regarding this report, please feel free to contact me to discuss.

Prepared by: Sgt. Marc JONES

Telephone: 250 726-7773

Email: marc.jones@rcmp-grc.gc.ca

Extended Distribution List:
District Advisory NCO



DISTRICT OF UCLUELET

Request to Appear as a Delegation

All delegations requesting permission to appear before Council are required to submit a written request or complete this form and submit all information or documentation by 12:00 p.m. five clear days before a Council Meeting. Applicants should include the topic of discussion and outline the action they wish Council to undertake.

All correspondence submitted to the District of Ucluelet in response to this notice will form part of the public record and will be published in a meeting agenda. Delegations shall limit their presentation to ten minutes, except by prior arrangement or resolution of Council.

Please arrive 10 minutes early and be prepared for the Council meeting. The Mayor (or Acting Mayor) is the chairperson and all comments are to be directed to the chairperson. It is important to address the chairperson as Your Worship or Mayor McEwen.

The District Office will advise you of which Council meeting you will be scheduled for if you cannot be accommodated on your requested date. For more information contact the District Office at 250-726-7744 or email info@ucluelet.ca.

Requested Council Meeting Date: 26 September 2023

Organization Name: Clayoquot Biosphere Trust

Name of person(s) to make presentation: Rebecca Hurwitz

Topic: Clayoquot Sound Biosphere Centre

Purpose of Presentation: Information only
 Requesting a letter of support
 Other (provide details below)

Please describe:

A presentation to share the development and progress for the soon to be built and one of its kind Clayoquot Sound Biosphere Centre. CBT are seeking a letter of support from the District of Ucluelet.

Contact person (if different from above): Michelle Hall

Telephone Number and Email: 250 725 2219

Will you be providing supporting documentation? Yes No
 If yes, what are you providing? Handout(s)
 PowerPoint Presentation

Note: Any presentations requiring a computer and projector/screen must be provided prior to your appearance date. The District cannot accommodate personal laptops.

The personal information you provide on this form is collected under s. 26(c) of the FOIPPA and will be used for the purpose of processing your application to appear as a delegation before the District of Ucluelet Council. The application will form part of the meeting's agenda and will be published on the website. Your personal telephone number and e-mail address will not be released except in accordance with the Freedom of Information and Protection of Privacy Act. Questions about the collection of your personal information may be referred to the Manager of Corporate Services 200 Main Street, PO Box 999, Ucluelet BC, V0R 3A0 or by telephone at 250-726-7744.

We acknowledge the territories of hišk^wiiʔath (Hesquiaht First Nation), ʒaaḥuusʔath (Ahousaht), ʔaʔuuk^wiʔath (Tla-o-qui-aht First Nations), ʔuuʔuʔiʔath Government (Ucluelet First Nation), and tuk^waaʔath (Toquaht Nation) in the spirit of truth, healing, and reconciliation.

Rebecca Hurwitz, Executive Director, Clayoquot Biosphere Trust Re: Clayo...

Clayoquot Biosphere Trust

Globally minded
Ecosystem oriented
Community driven

clayoquotbiosphere.org



COMMUNITY
FOUNDATIONS
OF CANADA



Our Shared Vision

The communities of Clayoquot Sound Biosphere Region will live sustainably in a healthy ecosystem, with a diversified economy, and strong, vibrant, and united cultures, while embracing the Luu-chah-nulth First Nations living philosophies of iisaak (living respectfully), qwa' aak qin tiič mis (life in the balance), and hišukniš čawaak (everything is one and interconnected).



2022 Annual Report: A Snapshot

A year relearning how to gather in post pandemic context
to best promote the health of people and place:

- Equity driven organization - review of grant processes
- \$390,678 in community grants
- 127 projects & 40 organizations funded
- 33 small neighbourhood grants & 5 education awards
- 23 grants from community funds
- Strengthened biodiversity conservation projects
- EWC supported food access challenges
- CFRC hosted the 10th Coming Together forum
- West Coast Nest coastal science and conservation
- Gathered data for vital signs 2023
- Truth & Reconciliation projects with USS
- 12 endowment funds
- Establishing the Biosphere Centre



We are building a Biosphere Centre

- **A place for Climate Action**, focussing on research, science, conservation and biodiversity within the UNESCO designated Biosphere Region
- **A place to Connect People** together and have vital conversations on community health & develop community programs that empower all communities and youth
- **A place for Reconciliation & Healing** through permanent exhibits, culture, and teaching and sharing traditional knowledge through programming
- **A place for Training & Education**, diversifying the economy, increasing employment opportunities and investing in community health



Key Features

- **A Community Teaching Kitchen** to enable people to maximize the abundant food resources of the region
- Inclusive and **culturally safe community space**
- **Education and training space** for reskilling, upskilling and employment opportunities
- **Community hub with co-working desks**, shared technology, resources and space to work together
- **Elders room for elders programming**, language revitalization, storytelling and traditional knowledge
- **UNESCO exhibition & teaching space** to share the significance of the UNESCO Biosphere Region
- Visitor centre – **education on cultural heritage**, environmental research, and local programs
- **Ceremonial community firepit** and edible gardens
- **Flexible indoor and covered outdoor teaching and education space** for educational, youth and training programs
- **2 residential housing units** for staff and essential workers

Status and Timeline

- Project cost \$15 million
- 301 Olsen Road purchased and re-zoned
- Living Building Challenge adopted
- Seeking government funding
- \$7.2M federal GICB grant submitted (Nov'23)
- \$5M BC budget recommendation (Feb'24)
- \$1M REDIP application underway
- Capital campaign underway
- \$1.8M of \$4M target achieved
- Design & Development plans complete
- Anticipated completion: 2026





QUESTIONS?



DISTRICT OF UCLUELET

Request to Appear as a Delegation

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All correspondence submitted to the District of Ucluelet in response to this notice will form part of the public record and will be published in a meeting agenda. Delegations shall limit their presentation to ten minutes, except by prior arrangement or resolution of Council.

Please arrive 10 minutes early and be prepared for the Council meeting. The Mayor (or Acting Mayor) is the chairperson and all comments are to be directed to the chairperson. It is important to address the chairperson as Your Worship or Mayor McEwen.

The District Office will advise you of which Council meeting you will be scheduled for if you cannot be accommodated on your requested date. For more information contact the District Office at 250-726-7744 or email info@ucluelet.ca.

Requested Council Meeting Date: Sept 29, 2023 (4pm)

Organization Name: Ucluelet Chamber of Commerce

Name of person(s) to make presentation: Joshua Jenkins, Executive Director

Topic: Ucluelet Economic Readiness Strategy

Purpose of Presentation:

Information only

Requesting a letter of support

Other (provide details below)

Please describe:

The Ucluelet Chamber of Commerce is requesting the following:

1. Letter of Support for round 2 - REDIP proposal - Project name:
"2024-26 Ucluelet Economic Readiness Strategy - Rural & Remote Recovery & Resilience"
2. Delegate a member of Council to sit as a member of the UCoC's committee "Ucluelet Economic Readiness Strategy"
3. To provide funding & support as investment to Ucluelet Economic Readiness Strategy 2024-26

Contact person (if different from above): _____

Telephone Number and Email: _____

Will you be providing supporting documentation? Yes No

If yes, what are you providing? Handout(s)

PowerPoint Presentation

Note: Any presentations requiring a computer and projector/screen must be provided prior to your appearance date. The District cannot accommodate personal laptops.

The personal information you provide on this form is collected under s. 26(c) of the FOIPPA and will be used for the purpose of processing your application to appear as a delegation before the District of Ucluelet Council. The application will form part of the meeting's agenda and will be published on the website. Your personal telephone number and e-mail address will not be released except in accordance with the Freedom of Information and Protection of Privacy Act. Questions about the collection of your personal information may be referred to the Manager of Corporate Services 200 Main Street, PO Box 999, Ucluelet BC, V0R 3A0 or by telephone at 250-726-7744.



Ucluelet Chamber of Commerce
**2024 Ucluelet Economic Readiness Strategy -
 Recovery & Resilience Model for Rural & Remote Communities**

Date: Sept 15/23

To: District of Ucluelet, Mayor & Council Meeting (Sept 26/23 – 4pm)

From: Joshua Jenkins, Executive Director,
Ucluelet Chamber of Commerce

Re: Delegation to Mayor & Council

Subject: **2024 Ucluelet Economic Readiness Strategy
 Recovery & Resilience Model for Rural & Remote Communities**

BACKGROUND

Current REDIP Funding – Community Capacity Building – for chamber manager over a 2-year period to rebuild Chamber membership & revitalize Ucluelet & area Ec Dev activities. About Rural Economic Diversification (REDIP) - The Rural Economic Diversification and Infrastructure Program (REDIP) is a new grant launched by the Ministry of Jobs, Economic Development and Innovation (JEDI). The Government of B.C. is investing up to \$33 million this year to create the Rural Economic Diversification and Infrastructure Program, which will support projects that promote the following:

- Economic diversification
- Resilience
- Clean growth opportunities
- Infrastructure development

2023 STRATEGIC PLANNING & ACTIVITIES – UPDATE

- a) REDIP #1 - Funding approved - Hired Executive Director (contract May 2023 - Apr 2025)
- b) Membership – increase enrollment, engagement & participation
- c) Marketing – communications - website & social media
- d) Board of Directors – roles & responsibilities / leadership capacity building
- e) Events – Van Isle 360, Edge to Edge Marathon, Night Markets, Ukee Days, Other
- f) Participate in CURRENT REGIONAL INITIATIVE - 2023-2024

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Presentation to District of Ucluelet, Mayor & Council

Date: Sept 26/23 by Joshua Jenkins, Executive Director, Ucluelet Chamber of Commerce

Joshua Jenkins, Executive Director, Ucluelet Chamber of Commerce Re: Ucl...



Ucluelet Chamber of Commerce
**2024 Ucluelet Economic Readiness Strategy -
 Recovery & Resilience Model for Rural & Remote Communities**

Funder: Island Coastal Economic Trust (Investment Readiness Program)
 Project Lead: Port Alberni Chamber of Commerce
 Partners: AC Community Futures, Tofino Chamber, Ucluelet Chamber
 Project Cost: \$27,480. (\$21,500 ICET Funds + \$5980 Applicant Equity)
 Project Title: **Alberni-Clayoquot Regional Economic Recovery & Resiliency Initiative**
 Timelines: September 2023 to March 2024
 Deliverables: A report - fact-based data (magnitude/scale) to understand the economic impact of the highway closure and its ongoing impacts to the businesses and communities.

- the business case for a reliable and safe secondary road in and out of Port Alberni.
- recommendations for business continuity and recovery strategies.

***** The final report will become the starting point for the Ucluelet Chamber's next REDIP Project (2024-2026)**

REDIP 2024-26 – Proposal Concept

The unique & remote geographic location of the community of Ucluelet, and its neighbouring communities, while presenting a wildly beautiful and natural experience for the resident and the visitor, it also presents higher risk and exposure to unpredictable natural disasters and other potential economic interruptions.

The Ucluelet Chamber of Commerce will continue to collaborate with local stakeholder & rightsholder groups to establish community-based response mechanisms and mitigation strategies to overcome economic challenges caused by natural disasters such as wildfires, rockslides, washouts, tsunamis, etc.

The focus of work will shift from a regional perspective to a local community perspective of Ucluelet and our neighbouring communities, our self sufficiency and ability to sustain the businesses and workforce before, during and after encountering a natural disaster.

Recognizing that the transportation routes (land/air/sea) are vital to the survival of our rural & remote communities. Our goal is to continue to do the work of building

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Presentation to District of Ucluelet, Mayor & Council

Date: Sept 26/23 by Joshua Jenkins, Executive Director, Ucluelet Chamber of Commerce



Ucluelet Chamber of Commerce
**2024 Ucluelet Economic Readiness Strategy -
 Recovery & Resilience Model for Rural & Remote Communities**

resilience and putting into place functional systems to respond to unpredictable natural disasters as well as align to sustain and align the balance between supply and demand between businesses and workforce.

Our proposed scope of work over the next two years, will be;

- to continue collaborating with local rightsholders & stakeholders and pick up, expand, and work beyond, the current 2023-24 ICET funded regional project with a focus on the 4 rural & remote communities located on the west coast of Vancouver Island.

- Develop a working group of local business & workforce representatives from District of Ucluelet, Yuułuᑦiᑦᑦᑦᑦ First Nation, and Toquaht First Nations, Alberni-Clayoquot Regional District (Area C – Long Beach)

- to develop a functional transferrable 'model' (a living document) that collects data, measures & monitors fluctuations and provides relevant data that supports alignment strategies. The sustainability benchmarks/factors will be determined and adjusted annually by the working group. This 'tool' will be used by rural & remote communities to measure success how to overcome the challenges and achieve the balance between business/sectoral performance and workforce supply & demand.

- the information would be collected annually as businesses renew their licences and the data collected would become available to the Ucluelet Chamber of Commerce for further tracking & analysis.

- All business license jurisdictions to expand the current business licence form to include data collection on local Economic Development criteria as determined by the Working Group, such as workforce housing & transportation needs.

- Share the annual data with Ucluelet Chamber of Commerce

- Ucluelet Chamber of Commerce to hire a coordinator for the period of 2 years to provide administrative support for data collection/reporting as well as secretarial services to the Working Group.



Ucluelet Chamber of Commerce
**2024 Ucluelet Economic Readiness Strategy -
 Recovery & Resilience Model for Rural & Remote Communities**

REQUEST

The Ucluelet Chamber of Commerce is requesting the following:

1. A letter of support for this proposed project titled, "2024 Ucluelet Economic Readiness Strategy - Recovery & Resilience Model for Rural & Remote Communities ". The purpose of this letter is to accompany our grant application to The Rural Economic Diversification and Infrastructure Program (REDIP) to fund this project. (application deadline is Oct.30/23).
2. To renew the partnership between District of Ucluelet and the Ucluelet Chamber of Commerce and improve communication and collaboration on local Economic Development initiatives by appointing a delegate from Council to attend Board meetings of the Ucluelet Chamber of Commerce.
3. To request financial support to offset the cost of hiring third party professional (\$35-45k), to kick start the 2-year project, to set up the operational frameworks and train the Project Coordinator.

Thank you, in advance, for your time and consideration.

Kind regards,

Joshua Jenkins, Executive Director
 Ucluelet Chamber of Commerce



Ucluelet Chamber of Commerce
**2024 Ucluelet Economic Readiness Strategy -
 Recovery & Resilience Model for Rural & Remote Communities**

Ucluelet & Area Economic Readiness Strategy - Working Group (Example)

TERMS OF REFERENCE The Ucluelet & Area Economic Readiness Working Group will work with the Ucluelet Chamber of Commerce staff to further develop local sustainable Economic Development Strategies.

Purpose

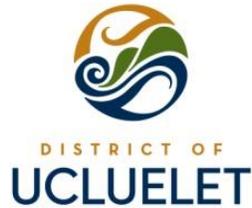
- To identify local business concerns which prohibit their successful operation in the District
- To isolate those areas which Local Government may address
- To seek, consult, research, quantify measures that will contribute to local economic sustainability
- To present these findings in an annual report to local businesses and governments

Appointment

Appointment - The committee will be made up of locally appointed representatives of rightsholders & stakeholders (businesses and workforce) following a 'call for members' as advertised in the local newspaper. The committee will consist of five (5) community members, a rightsholder Liaison and the CAO. District staff may, at the CAO's discretion, or the committee's request, attend meetings as required.

Term - The term for this committee is from May 2024 to April 2026, after which time its duration may be reviewed.

Frequency of Meetings - The committee shall meet no less than once a month (or more frequently as the committee requires)



REPORT TO COUNCIL

Council Meeting: September 26, 2023
500 Matterson Drive, Ucluelet, BC V0R 3A0

FROM: RICK GEDDES, FIRE CHIEF **FILE No:** 2830-30
SUBJECT: CEPF FIRE DEPARTMENT EQUIPMENT GRANT APPLICATION **REPORT No:** 23- 126
ATTACHMENT(S): APPENDIX A - VOLUNTEER & COMPOSITE FIRE DEPARTMENTS EQUIPMENT & TRAINING GRANT APPLICATION

RECOMMENDATION(S):

THAT Council approves the 2023 grant application for the Community Emergency Preparedness Fund Volunteer and Composite Fire Departments Equipment and Training Grant; and

THAT Council provides overall management for the Community Emergency Preparedness Fund Volunteer and Composite Fire Departments Equipment and Training Grant.

BACKGROUND:

The Community Emergency Preparedness Fund (CEPF) is a suite of funding streams intended to support First Nations and local governments to better prepare for disasters and reduce risks from natural hazards in a changing climate. Funding is provided by the Province of BC and is administered by the Union of BC Municipalities (UBCM).

Firefighters have a much higher chance of acquiring cancer than the average citizen. Because of this, Ucluelet Fire Rescue is taking steps to minimize the risk to firefighters by working towards supplying each member with two sets of turnout gear. Studies have proven that thorough decontamination of personal protective equipment is a key contributor in firefighter cancer prevention.

In 2019, Ucluelet Fire Rescue introduced a comprehensive decontamination process. This process includes gross decontamination at the incident site anytime a firefighter has been exposed to a potential immediately dangerous to life and health (IDLH) environment. After gross decontamination, firefighters then remove their gear and transport it in an exterior apparatus compartment. The decontamination process is then completed at the firehall.

While the firehall does have one washing machine, any incident requiring the use of turnout gear creates a backlog of contaminated laundry. This also renders those firefighters out of service until their gear is decontaminated, washed, and completely dried. It can take several days to wash and dry the entire crew's gear.

National Fire Protection Association (NFPA) Standard 1851, 2020 edition states, “departments should consider the need for two sets of ensemble elements or spare ensembles as part of their risk assessment....”

For insurance purposes, interior firefighting personal protective gear has a service life of ten years from the date of manufacture. Currently, the fire department budgets to replace three sets of turnout gear per year at a cost of \$3620.51 each. We have begun the process of replacing gear prior to it’s required expiry date (when possible) to help reduce the risk of cancer and minimize downtime while firefighters’ primary turnout gear is undergoing decontamination. Having two sets of gear ensures that our firefighters are wearing new gear which provides the highest level of safety. Firefighters then use their old gear as a back-up.

ANALYSIS OF OPTIONS:

If Council supports the grant application the fire department would purchase eight new sets of turnout gear (totalling \$28,964.08). This would support the fire department’s mandate of reducing exposure to carcinogens. This will also help to minimize the amount of time that the fire department could be delayed in responding to subsequent calls due to out of service personal protective equipment.

If Council elects to not support the grant, the fire department will continue to budget for three sets of turnout gear annually but will not be able to build up an inventory of back-up gear as quickly. The fire department will continue to have a backlog of contaminated personal protective equipment after an exposure.

A	Support the grant application.	<u>Pros</u>	<ul style="list-style-type: none"> • This will provide the means to immediately purchase eight new sets of firefighter turnout gear. • This will be an advancement in the fire department’s cancer prevention program. • This will help to prevent a backlog of contaminated personal protective equipment after an incident. • This will support NFPA 1851, 2000’s recommendation that fire departments should consider the need for two sets of gear. • Providing two sets of gear would allow firefighters to use their old gear during rigorous training that is hard on gear (ie: crawling on concrete) thus reducing wear and tear on new equipment.
		<u>Cons</u>	<ul style="list-style-type: none"> • There is no obvious downside in supporting this grant application.
		<u>Implications</u>	<ul style="list-style-type: none"> • As with any grant of this type, the funds will have to be provided by the District and reimbursed upon completion of the grant.
B	Do not proceed with the grant application.	<u>Pros</u>	<ul style="list-style-type: none"> • There are no obvious pros in not supporting this grant application
		<u>Cons</u>	<ul style="list-style-type: none"> • There will continue to be times where fire department response may be delayed and / or not possible due to the backlog of contaminated personal protective equipment after an incident. • The fire department’s cancer prevention program will not progress as quickly as it would with grant support.

	<u>Implications</u>	<ul style="list-style-type: none"> No direct financial implications.
	<u>Suggested Motion</u>	No motion is required.

NEXT STEPS:

- If approved by Council, a grant application with a Resolution of Council showing indicating support for the grant application and the willingness to provide overall grant management would be submitted to UBCM.
- If the grant application is successful, eight new sets of turnout gear would be purchased, utilizing our current specifications and current supplier (Associated Fire Safety).

Respectfully submitted: Rick Geddes, Fire Chief

Community Emergency Preparedness Fund Volunteer and Composite Fire Departments Equipment and Training 2023 Application Form

Please complete and return the application form by **October 20, 2023**.

Applicants will be advised of the status of their application within 90 days of the application deadline.

Please complete and return the application form in advance of the deadline. All questions must be answered by typing directly in this form. **As all questions are reviewed and scored as part of the adjudication process, please do not leave any questions blank.**

If you have any questions, contact cepf@ubcm.ca or (604) 270-8226 ext. 220.

SECTION 1: Applicant Information	<i>_____ (for administrative use only)</i>
Name of Applicant (Local Government, First Nation or Fire Department): District of Ucluelet Fire Rescue	Date of Application: 2023-09-15
Primary Contact Person*: Rick Geddes Phone: 250-266-2254	Position: Fire Chief E-mail: rgeddes@ucluelet.ca
Secondary Contact Person*: Markus McRurie Phone: 250-534-9809	Position: Deputy Fire Chief E-mail: mmcrurie@ucluelet.ca

* *Contact persons must be an authorized representative of the applicant (i.e. staff member or elected official)*

SECTION 2: For <u>Regional Projects Only</u>
<p>1. Identification of Partnering Applicants. For all regional projects, please list all of the partnering applicants included in this application. Refer to Sections 2 and 4 in the <i>Program and Application Guide</i> for eligibility.</p> <p>N/A</p>
<p>2. Rationale for Regional Projects. Please provide a rationale for submitting a regional application and describe how this approach will support cost-efficiencies in the total grant request.</p>

N/A

SECTION 3: Project Summary**3. Project Information**

- a. Project Title: Ucluelet Fire Rescue Turnout Gear 2023
- b. Proposed start and end dates. Start: October 2023 End: March 2024

4. Project Cost and Grant Request:

- a. Total proposed project budget: \$28,964.08
- b. Total proposed grant request: \$28,964.08
- c. Have you applied for, or received funding for, this project from other sources? If yes, please indicate the source and the amount of funding received or applied for.
N/A

5. Project Summary. Provide a summary of your project in 150 words or less.

It is ever becoming more apparent, the inherent risks associated with firefighting and being exposed to carcinogens and cancer-causing agents on the fire ground. Studies show that firefighters, in Canada are killed by cancer at a rate of about three times higher than the general population. Currently, over half of the members of Ucluelet Fire Rescue do not have turnout gear that was personally sized for them. This can increase the risk of carcinogen absorption via skin in poorly protected areas, such as the ankles, wrists, groin, and neck areas. Furthermore, ill-fitting gear compromises performance and mobility while attending emergency incidents. With the UBCM CEPF grant for Volunteer and Composite Fire Departments Equipment and Training, Ucluelet Fire Rescue, would be able to purchase eight new full sets of structural firefighting turnout gear for its members.

SECTION 4: Detailed Project Information**6. Requirement to be Volunteer or Composite Fire Department.** For each eligible fire department that is included in this application

- a. Name of each fire department: District of Ucluelet Fire Rescue
- b. Membership (volunteer or composite) of each department: Composite
- c. Declared level of service of each department: Interior

Copies or extracts of the available evidence of declared level of service is required to be submitted with the application.

The BC Structure Firefighter Minimum Training Standards include the requirement for fire departments to declare their level of service. This applies to all local government, Treaty First

Nation and society-run fire departments. The training standards are not automatically applicable on federal reserve lands and, for the purpose of CEPF funding, non-Treaty First Nations are not required to declare their level of service if they are not prepared to do so. This will not impact the review or scoring of applications.

7. Operating Budget(s).

- a. Please indicate the annual operating budgets of each fire department included in this application.

UFR - 2023 Budget \$432,327

- b. Describe the extent to which that budget enables each fire department to purchase essential equipment and/or obtain training.

\$41,500 allocated to Training & Equipment. We typically purchase three sets of turnout gear annually. We only have one washing machine so there is a backlog of contaminated turnout gear after every incident. This hampers our ability respond in a safe and timely matter.

8. Proposed Activities. What specific activities will be undertaken as part of the proposed project? Refer to Sections 4, 5 and 6 of the *Program and Application Guide* for eligibility.

- a. Purchase of equipment.

We plan on purchasing eight sets for firefighter turnout gear - "Purchase of new or replacement equipment to enable or enhance the ability of eligible fire departments to meet the needs of the community and Training Standards in accordance with the declared level of service" - By purchasing new Structural Firefighting PPE for our members, we will be able to respond to a variety of emergency situations with full confidence that our members are safe, performing at their best, and that we meet all Worksafe BC and NFPA standards for structural firefighting PPE. Protecting our members from long-term exposure to carcinogens by wearing the best PPE available is a significant step in the right direction.

- b. Training. *Note: training is for fire department members only and not community members. All proposed training activities must include the name of course.*

N/A

9. Resiliency. Describe how the proposed project will build the resiliency of volunteer and composite fire departments in preparing for and responding to emergencies.

Purchasing new structural firefighting PPE for eight of our members will not only ensure we're adhering to NFPA standards, but it will also increase member morale by showcasing our investment in their hard work and training. This purchase will not only increase positive demeanors amongst members, but it will increase firefighter retention, which is always a major focus within a volunteer/composite department.

10. Physical and Mental Well-Being. Describe the extent to which proposed training will specifically address the mental wellbeing of eligible fire department staff and volunteers.

The purchase of new PPE for our members not only ensures their physical well-being in the short-term with obvious protection at incidents, but it is beneficial in the long-term protection of our members when exposed to carcinogens. Regarding mental wellbeing,

members will feel supported that their leadership team is taking the necessary steps to protect them and by extension, their families.

11. Partnerships and Transferability. Describe the extent to which the proposed project will provide partnerships, transferability or mutual aid to neighbouring jurisdictions.

By purchasing new PPE for our members we will continue to safely be able to offer mutual aid support to the neighboring communities of Tofino, Ittatsoo, Macoah, and the Alberni-Clayoquot Regional District.

12. Additional Information. Please share any other information you think may help support your submission.

The purchase of eight sets of new Structural Firefighting PPE turnout gear not only ensures these members meet NFPA standards but will also allow for their old gear to be used for training evolutions. Having a second set of gear for training evolutions, further decreases the amount of long-term exposure to carcinogens, teaching firehall best practices for decontamination.

SECTION 5: Required Application Materials

Only complete applications will be considered for funding. The following separate attachments are required to be submitted as part of the application.

All applicants are required to submit:

- Evidence of declared service level (e.g. bylaw, resolution).
- Detailed budget that indicates the proposed expenditures from CEPF and aligns with the proposed activities outlined in the application form. Although additional funding or support is not required, any other grant funding or in-kind contributions must be identified.

First Nation, local government or improvement district applicants must submit:

- Band Council resolution, Treaty First Nation resolution, local government Council or Board resolution, or improvement district Trustee resolution indicating support for the current proposed activities and willingness to provide overall grant management.

Legally incorporated society-run fire department applicants must submit:

- Board of Directors motion indicating support for the current proposed activities and willingness to provide overall grant management.
- Current Certificate of Good Standing.

Regional project applicants are required to submit:

- Resolution or motion from each partnering applicant that clearly states their approval for the primary applicant to apply for, receive and manage the grant funding on their behalf. Resolutions or motions from partnering applicants must include this language.

SECTION 6: Signature

I certify that: (1) to the best of my knowledge, all information is accurate, (2) the area covered by the proposed project is within the applicant's jurisdiction (or appropriate approvals are in place) and (3) we understand that this project may be subject to a compliance audit under the program.

Name: Rick Geddes

Title: Fire Chief

Signature:

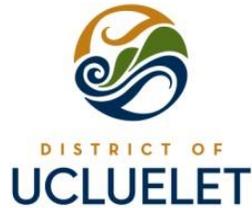
An electronic or original signature is required.

Date: 2023-09-15

** Signatory must be an authorized representative of the applicant (i.e. an employee or elected official)*

Submit applications to Local Government Program Services, Union of BC Municipalities

E-mail: cepf@ubcm.ca



REPORT TO COUNCIL

Council Meeting: September 26, 2023

500 Matterson Drive, Ucluelet, BC V0R 3A0

FROM: BRUCE GREIG, DIRECTOR OF PLANNING

FILE NO: 6630-24 BCH

SUBJECT: BC HOUSING - COMMUNITY HOUSING FUND GRANT

REPORT NO: 23- 120

ATTACHMENT(S): APPENDIX A – EXCERPT FROM M’AKOLA SUMMARY OF CHF PROPOSAL CALL
APPENDIX B - BUILDING PLANS

RECOMMENDATIONS:

1. **THAT** Council direct staff to prepare a draft submission to the BC Housing Community Housing Fund grant intake, for Council authorization at its November 10, 2023, regular meeting;
2. **THAT** Council direct staff to develop an agreement with the Westcoast Community Resources Society to lease and develop 5 units of mixed market and affordable rental housing on the District-owned property at 1300 Peninsula Road subject to successful funding through the Community Housing Fund proposal call;
3. **THAT** Council direct staff to give notice of intent to lease the property at 1300 Peninsula Road to the Westcoast Community Resources Society at a nominal fee for a period of 60 years, for the purpose of developing and managing 5 units of mixed market and affordable community rental housing; and,
4. **THAT** Council request letters of support from Ahousaht, Hesquiaht, Tla-o-qui-aht, Toquaht and Yuułu?if?ath nations, MP Johns, MLA Osbourne and the District of Tofino.

BACKGROUND:

Staff first presented a report to Council on the potential for an affordable housing development on the District-owned property at 1300 Peninsula Road at its [January 24, 2023 meeting](#). At that time Council directed staff to pursue the Canada Mortgage and Housing Corporation (CMHC) Rapid Housing Initiative (RHI) grant and pursue an agreement to partner on the project with a community social support service provider.

At its [March 14, 2023 meeting](#), Council received a report on the details of the RHI grant submission, and confirmed the allocation of up to \$225,000 from the affordable housing reserve fund to support the initial project survey, engineering, design, legal, grant preparation and project costs. Council also authorized a memorandum of understanding with the Westcoast

Community Resources Society (WCRS) for the operation of the supportive housing project, should Ucluelet be successful in obtaining the capital grant.

On March 14th, Council also adopted Zoning Amendment Bylaw No. 1324, 2023, to designate the property at 1300 Peninsula Road for multi-family housing to facilitate the proposed 5 units of affordable, supportive housing.

The initial staff reports (links above) provide background on the site, the housing need and context for a municipal affordable housing project at 1300 Peninsula Road in partnership with WCRS.

Unfortunately, the District was not successful in the RHI grant competition. Feedback from CMHC staff indicated that although Ucluelet submitted a great project, the grant was highly subscribed - and the spread of funding just didn't cover projects in all interested communities.

In the March 14th staff report, it was noted that *"the first phase of the project will deliver a shovel-ready design package for the 5 housing units at 1300 Peninsula Road. If the District is successful in obtaining an RHI grant, Council would see a future report seeking authorization for the construction contract phase of the project. If the District is unsuccessful in this grant competition, staff would explore other funding options and bring those for Council to consider."*

In August, BC Housing opened the Community Housing Fund 2023 (CHF) for proposals. The deadline for submission is November 17, 2023. A summary of the funding opportunity and criteria has been prepared by M'Akola Development Services (see **Appendix "A"**). M'Akola is prepared to assist the District and WCRS to coordinate the agreements and grant submissions required for this proposal call.

After submitting the RHI grant this spring, staff continued with Saltwater Building Co. and Doug Cole Architect to advance the building design. The plans are now at a state ready for submission for a building permit (see **Appendix "B"**). With a truly shovel-ready project, and partnership with a proven community service provider, the District is well positioned to submit a strong application to the current BC Housing proposal call.

Some highlights of the structure of the CHF funding:

- Through this funding stream, BC Housing (BCH) is looking to create a mix of rental housing (20% deep subsidy, 50% rent geared to income, 30% market rental);
- Land would be leased by the District to the WCRS;
- BCH would provide a capital grant of \$158,294 per unit;
- The balance of the construction costs would be loaned to WCRS in a 35-year mortgage;
- BCH would provide an ongoing operating subsidy to WCRS to offset the cost of the mortgage payments;
- Equity contributions (i.e., District land and contributions from the Affordable Housing Reserve) raise the priority of the project within the funding criteria.
- Building maintenance and operating costs would be the responsibility of WCRS and funded through unit rents.

Financial Implications:

The District's contribution to the project would be the value of the land committed to community housing for at least 60 years, plus the \$225,000 cash already allocated in 2023 from the Affordable Housing reserve (note the Affordable Housing reserve has been funded from a portion of the MRDT, not property taxes).

The total spent to date on survey, engineering, legal, architectural and cost estimating amounts to \$60,000. Now that permit-ready plans are complete an updated cost estimate would provide accurate costing for the grant. Some civil engineering work needs to be completed for site servicing. Legal review will be necessary for finalizing agreements and the property lease. All that considered, the initial allocation of \$225,000 should be more than adequate to complete the permitting, proposal submission and legal requirements for the project, with the balance of the funds going to support construction costs.

	cost /value	funding source
land	\$700,000	District owned
survey, engineering, design, legal	\$225,000	Ucluelet affordable housing reserve
capital grant for construction costs	\$792,470	BCH Community Housing Fund 2023
mortgage for balance of construction costs	approx. \$2,500,000	WCRS (w/ BCH funding)
operating costs		Rents (per BCH formula)

Conclusion:

Staff recommend that Council consider the motions laid out at the outset of this report to advance a grant application to the current CHF program for this affordable rental housing development on District land. The project would meet a pressing, known housing need in the community. The Westcoast Community Resources Society is an experienced and qualified community partner to take on the long-term operation of the housing to fill this community need. The grant submission and lease agreement would be presented for Council approval at the November 10, 2023, meeting to enable submission to BC Housing by the November 17 deadline.

ANALYSIS OF OPTIONS:

A	<p>That Council support pursuing the mixed-rent affordable housing project at 1300 Peninsula Road as outlined in the staff report.</p>	<u>Pros</u>	<ul style="list-style-type: none"> • Aligns with an identified community housing need for affordable rental housing – one which will not otherwise be met without commitment of public resources from the District and/or other agencies. • Would take advantage of the current BCH grant opportunity to leverage provincial funds to construct the project. • Aligns with past initial work to identify where District resources are best spent to address community housing needs. • Takes advantage of the site at 1300 Peninsula Road and its proximity to schools and other community facilities – making it particularly well suited for housing or families. • Would take advantage of the engineering and architectural design work already completed for this site. • Would support an existing non-profit community service provider in delivering their programs to support vulnerable persons and families in the community.
		<u>Cons</u>	<ul style="list-style-type: none"> • Opportunity cost - commits the land to this purpose for the long term.
		<u>Implications</u>	<ul style="list-style-type: none"> • Would require a significant commitment of staff time in the coming weeks to ensure the District puts its best foot forward with a complete grant application. • Would commit the use of the District-owned property at 1300 Peninsula Road to use for affordable rental housing for at least 60 years. • Utilizes the funds already committed from the Affordable Housing Reserve fund • Operating costs and mortgage for outstanding capital costs would be the responsibility of WCRS and BC Housing.
B	<p>That Council not support pursuing the CHF grant application at this time.</p>	<u>Pros</u>	<ul style="list-style-type: none"> • Unknown
		<u>Cons</u>	<ul style="list-style-type: none"> • Would not address a known community housing need. • Would not take advantage of the current grant and partnership opportunity. • Would not take advantage of investment in developing shovel-ready project plans.
		<u>Implications</u>	<ul style="list-style-type: none"> • Staff time could be prioritized for other work. • Balance of Affordable Housing Reserve funds would be available for other projects.
		<u>Suggested Motion</u>	No motion required.

POLICY OR LEGISLATIVE IMPACTS:

The property is currently designated in the OCP Long-range Land Use Plan as “Multi-Family Residential” and has been zoned as R-2 Medium-Density Residential in anticipation of developing the lot for affordable housing.

Respectfully submitted: **Bruce Greig, Director of Community Planning**
 Duane Lawrence, Chief Administrative Officer



BUILDING BC: COMMUNITY HOUSING FUND 2023

PROGRAM OVERVIEW

BC Housing's Community Housing Fund opened August 28th and will close November 17th, 2023 at 2pm.

The overall concept and structure of this funding call is the same as previous years. Key features are:

- Target is families, seniors, and persons with a disability. Other tenants possible with clear rationale such as women escaping violence or youth. Tenants must be living independently. This fund is not for supportive housing.
- Rent Mix is prescriptive:
 - 20% Deep Subsidy units (current Shelter rate: \$500 for 1 beds, \$695 for 2 beds, etc. See Appendix 12)
 - 50% BCH Rent Geared to Income (Definition in Appendix 12)
 - 30% Market Rents
- Non-residential space may not be more than 30% of the total gross floor area
- Equity contributions are expected and encouraged. Projects with larger society equity commitments are prioritized.
- Proponents must commit to a 60-year operating agreement with BC Housing
- 35-year mortgage
- BC Housing Design Guidelines and sustainability targets must be met
- Funding priority will be given to the following municipalities: City of Abbotsford, City of Delta, City of Kamloops, District North Vancouver, District of Oak Bay, City of Port Moody, District of Saanich, City of Vancouver, City of Victoria, District of West Vancouver
- Proposals not selected for CHF may be considered for Project Development Funding (PDF)

*BC Housing intends to issue another CHF RFP for 2024/2025. There is an emphasis on **construction ready projects** in this 2023 call with the opportunity for Project Development Funds to advance projects that are an earlier stage for future CHF calls. The RFP suggests that there may be a separate process for obtaining Project Development Funds.

WHAT BC HOUSING BRINGS:

- Capital grant per unit of \$158,294 for all unit types (secured by 35-year forgivable mortgage)
- Interim construction financing
- Take out financing for long-term 35 year mortgage
- Ongoing operating subsidy which offsets mortgage on the project



PROPOSAL COMPONENTS

For the 2023 CHF call BC Housing has identified both mandatory and preferable components for applicants

MANDATORY PROPOSAL COMPONENTS

Projects proposed in response to this RFP must meet all mandatory requirements as set in Sections 4.1 and 4.2 of Appendix 9. Projects that do not meet all mandatory requirements will not be accepted. An overview of mandatory proposal components is included below.

Mandatory Proposal Requirements	
Property Tenure	Land holding is finalized and documented. Lease registration may be in process. A mortgageable interest in the land is available for financing.
Zoning	Zoning is appropriate OR all jurisdictional requirements have been or can be fully satisfied to commence construction within 18 months of award date.
Energy Modelling Report with Thermal Comfort Analysis, Sensitivity Analysis	Energy Modelling Report with Thermal Comfort and Sensitivity analysis with 2050 weather file is completed
Accessibility	Minimum 5% of units meet accessibility requirements
Development Consultant Agreement	BC Housing template Development Consultant agreement is signed (see Appendix 3 of RFP for template)

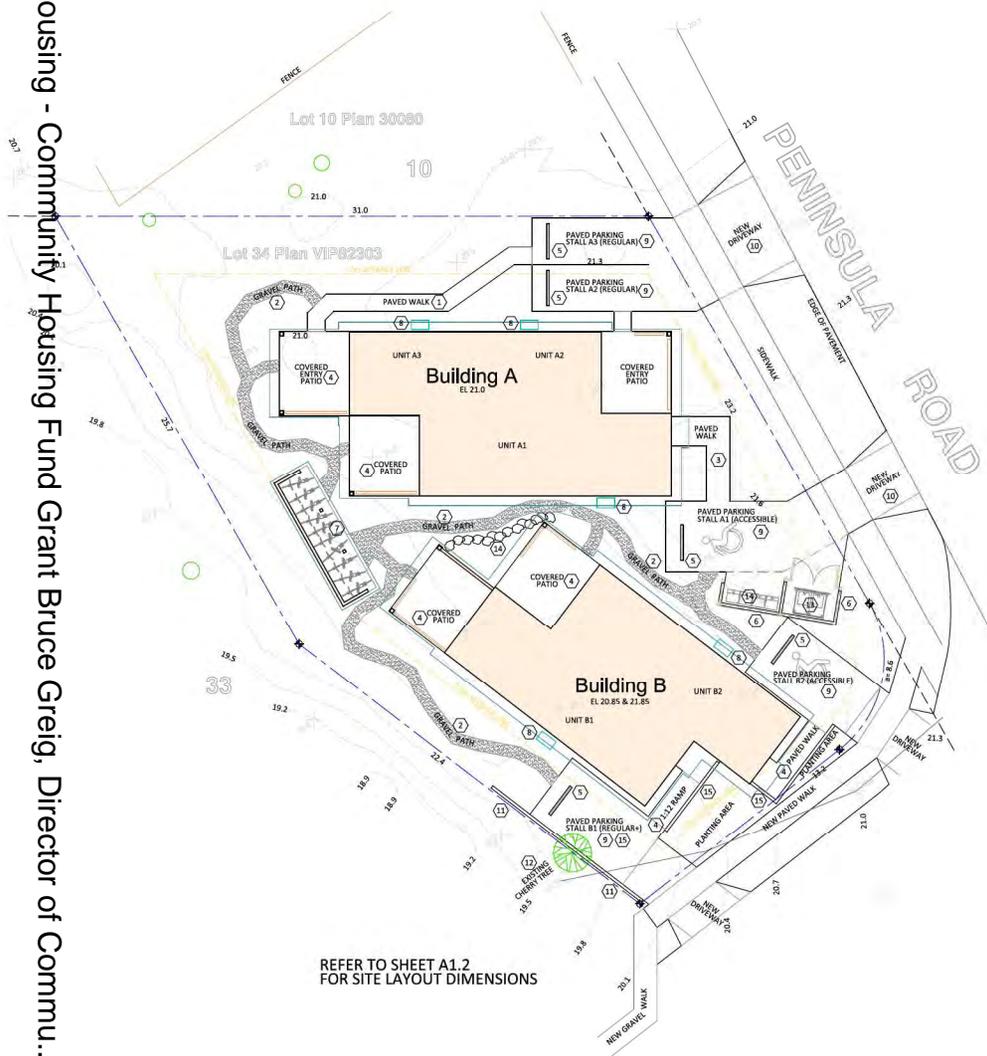
Mandatory Requirements for Housing Providers
<ul style="list-style-type: none"> • Eligible organization type (eg NPO, First Nation, Co-op) in good standing • Mortgageable interest in land (and no restrictions on mortgage) • Building ownership, no cross-subsidy with other BCH programs, as well as, • Unit designation and target population alignment. <p>Applicants must agree to BC Housing’s Supplier code of conduct.</p>

PREFERABLE PROPOSAL COMPONENTS

Preferable components focus on a general alignment of the project with the mandate of CHF (target tenant type, adherence to BC Housing Design Guidelines, proof of concept, demonstrated organizational capacity and experience as well as an experienced project team, etc.).

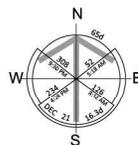
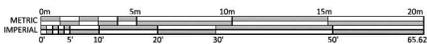
In this proposal call there is extra emphasis in two areas:

- a) Sustainability and Resilience; and,
- b) Equity, Diversity and Inclusion as well as Reconciliation.



REFER TO SHEET A1.2 FOR SITE LAYOUT DIMENSIONS

Site Plan
SCALE: 1:120 1" = 10.0'
1300 Peninsula Road



General Notes

1. LOT LINES, DISTANCES, AND SPOT ELEVATIONS ARE IMPORTED FROM AG SURVEY CAD FILE DATED 3/24/2022.
2. TOPOG CONTOURS ARE DIGITIZED FROM DISTRICT WEBSITE LIDAR MAPPING AND ARE APPROXIMATIONS ONLY TO GIVE IDEA OF GENERAL SITE SLOPES.

Site Plan Key Notes

1. 36" WIDE BY 4" THICK CONCRETE SIDEWALK WITH WELDED WIRE MESH REINFORCEMENT AND TOLDED CONSTRUCTION JOINTS AT 4' OC. SMOOTH TROWEL EDGE WITH LIGHT BROOM FINISHED WALKING SURFACE.
2. 30" WIDE BY 4" DEEP CRUSHED ROCK WALKING PATH.
3. 48" WIDE BY 4" THICK CONCRETE SIDEWALK WITH WELDED WIRE MESH REINFORCEMENT AND TOLDED CONSTRUCTION JOINTS AT 4' OC. SMOOTH TROWEL EDGE WITH LIGHT BROOM FINISHED WALKING SURFACE. TYPICAL AT ACCESSIBLE UNIT ENTRY WALKS.
4. 4" THICK CONCRETE PATIO AND HAMM SURFACES WITH WELDED WIRE MESH REINFORCEMENT AND TOLDED CONSTRUCTION JOINTS AT 4' OC. SMOOTH TROWEL EDGE WITH LIGHT BROOM FINISHED WALKING SURFACE.
5. PROVIDE PRE-FORMED 6" LONG WHEEL STOP AT EACH PARKING STALL, LOCATED 36" FROM HEAD OF STALL AND PINNED INTO SLAB AND GROUND WITH METAL DOWELS.
6. 24" HEIGHT ABOVE GRADE 8" CONCRETE STEK WALL WITH 48" HIGH TIMBER FRAMED WOOD FENCE PANELS WITH ROUGH SAWN 3X TOP TRIM TO MATCH STYLE OF PATIO ENCLOSURES. PROVIDE HEAVY DUTY LATCHING GATE HARDWARE AT TRASH ENCLOSURE AREA. ARCHITECT TO PROVIDE FURTHER DETAILS ON DESIGN SPECIFS.
7. PROVIDE ALLOWANCE PRICING FOR WOOD FRAME OPEN FRENCH BINE STEKRAE SAVED SIMILAR IN DESIGN AND MATERIALS AS TRASH AND PATIO ENCLOSURE SCREENING, WITH METAL ROOF TO MATCH BUILDING. ARCHITECT TO PROVIDE FURTHER DETAILS ON DESIGN SPECIFS.
8. PROVIDE 24" X 48" X 4" CONCRETE PAD FOR GROUND MOUNTED HEAT PUMP UNITS.
9. 6" THICK PAVED CONCRETE PARKING STALL WITH WELDED WIRE MESH REINFORCEMENT AND LIGHT BROOM FINISH. SLOPE TO DRAIN RAINWATER AWAY FROM BUILDING AT MIN 1/8" PER FOOT.
10. CONCRETE CURB CUT AND DRIVE APRON PER DOU STANDARDS.
11. CAST IN PLACE CONCRETE RETAINING WALL AND FOOTINGS PER STRUCTURAL DESIGN. CURB RETAINING WALL 6" ABOVE FINISH STALL GRADE AND PROVIDE 36" HIGH METAL GUARD MOUNTED TO OUTSIDE FACE OF WALL AT ALL AREAS WHERE ADJACENT GRADE IS GREATER THAN 300MM BELOW WALKING SURFACE.
12. ROOT PRUNE, BALL AND BURLAP EXISTING CHERRY TREE PRIOR TO SITEWORKS CONSTRUCTION. COORDINATE WITH ARCHITECT FOR SUITABLE LOCATION TO RELOCATE TREE IN COORDINATION WITH NEIGHBORING PROPERTY OWNER.
13. 6 CY METAL BEAR PIGGY DUMPKETER.
14. 40-GALLON METAL BEAR-PIGGY CONTAINERS.
15. CAST IN PLACE ENTRY RETAINING WALLS WITH 36" METAL GUARDS AND HANDRAIL ON RAMP SIDE OF GUARD. COORDINATE WITH ARCHITECT AND STRUCTURAL ENGINEER ON EXTENT OF RETAINING WALL BASED ON SITE CONDITIONS.
16. 2-MAN BOULDER ROCK RETAINING WALL. CONFIRM EXTENT AND HEIGHT REQUIRED DURING SITE CALCULATIONS AND NOTIFY LEADWORK ENGINEERING ASSOCIATES GEOTECHNICAL FOR RETAINING WALL DETAIL IF WALL EXCEEDS 48" FROM TOE TO TOP.
17. NOTE THAT THE PARKING SPACE FOR UNIT B1 IS INTENDED TO MEET THE SPIRIT OF AN ACCESSIBLE PARKING STALL, HOWEVER SITE CONDITIONS PRECLUDE FROM BEING ABLE TO COMPLY WITH A FULLY ACCESSIBLE TRAVEL PATH FROM THIS STALL. COORDINATE WITH THE ARCHITECT AND OWNER DURING SITE LAYOUT TO PROVIDE DISCUSS POSSIBLE OPTIONS FOR PROVIDING BARRIER FREE ACCESS SOLUTIONS AT THIS PARTICULAR PARKING STALL.

Lot Statistics

ZONING: R-2 MEDIUM DENSITY RESIDENTIAL
SITE AREA: 922.1 sm 9,925.5 SF

Lot Coverage & Density

ALLOWABLE DENSITY: FIVE DWELLING UNITS IN DUPLEX AND TRIPLEX CONFIGURATION PER DVPP2-02

MAXIMUM ALLOWABLE FLOOR AREA RATIO: 0.70 6,948 SF
PROPOSED FLOOR AREA RATIO: 0.49 4,828 SF

YARD SETBACKS:
FRONT: 7.5m / 25m*
REAR: 3.0m / 10m*
SIDE (EXTERIOR): 6.0m / 20m*
REAR: 6.0m / 20m*
* PER DVPP2-02

Building Area Calculations

PROPOSED FLOOR AREAS ARE MEASURED TO THE FACE OF CONCRETE FOUNDATIONS AND UPPER LEVEL SHEATHING PLANES.

BUILDING	GROSS ENCLOSED	USEABLE
BUILDING A	224.3 sm 2,414.0 SF	201.1 sm 2,168.8 SF
BUILDING B	224.3 sm 2,414.0 SF	201.1 sm 2,168.8 SF
TOTALS	448.5 sm 4,828.0 SF	402.2 sm 4,337.6 SF

PROPOSED FLOOR AREA RATIO 0.49

By Unit Floor Areas

GROSS AREA MEASURED TO FACE OF SHEATHING AND CENTELINE OF SEPARATION WALL
USEABLE AREA MEASURED TO INSIDE FACE OF INTERIOR WALLS WITHIN SUITE BUT EXCLUDING IN-SUITE WALLS

BUILDING	UNIT	FLOOR	GROSS		USEABLE	
			SM	SF	SM	SF
BUILDING A	UNIT A1	FLOOR 1	56.3 sm	603.5 SF	50.8 sm	546.7 SF
		FLOOR 2	56.3 sm	603.5 SF	50.8 sm	546.7 SF
	UNIT TOTAL	112.2 sm	1,207.0 SF	101.6 sm	1,093.4 SF	
	UNIT A2	FLOOR 1	28.0 sm	301.0 SF	24.9 sm	267.9 SF
		FLOOR 2	28.0 sm	301.0 SF	24.9 sm	267.9 SF
	UNIT TOTAL	55.9 sm	602.0 SF	50.1 sm	535.8 SF	
UNIT A3	FLOOR 1	28.1 sm	302.5 SF	24.9 sm	267.9 SF	
	FLOOR 2	28.1 sm	302.5 SF	24.9 sm	267.9 SF	
UNIT TOTAL	56.2 sm	605.0 SF	50.1 sm	535.8 SF		
TOTALS	FLOOR 1	112.1 sm	1,207.0 SF	100.6 sm	1,082.5 SF	
	FLOOR 2	112.2 sm	1,207.0 SF	100.6 sm	1,082.5 SF	
	BUILDING TOTALS	224.3 sm	2,414.0 SF	201.1 sm	2,168.8 SF	

BUILDING	UNIT	FLOOR	GROSS		USEABLE	
			SM	SF	SM	SF
BUILDING B	UNIT B1	FLOOR 1	56.1 sm	603.5 SF	50.8 sm	546.7 SF
		FLOOR 2	56.1 sm	603.5 SF	50.8 sm	546.7 SF
	UNIT TOTAL	112.2 sm	1,207.0 SF	101.6 sm	1,093.4 SF	
	UNIT B2	FLOOR 1	56.1 sm	603.5 SF	50.8 sm	546.7 SF
		FLOOR 2	56.1 sm	603.5 SF	50.8 sm	546.7 SF
	UNIT TOTAL	112.2 sm	1,207.0 SF	101.6 sm	1,093.4 SF	
TOTALS	FLOOR 1	112.2 sm	1,207.0 SF	101.6 sm	1,093.4 SF	
	FLOOR 2	112.2 sm	1,207.0 SF	101.6 sm	1,093.4 SF	
	BUILDING TOTALS	224.3 sm	2,414.0 SF	201.5 sm	2,186.8 SF	

GRAND TOTALS
BUILDING TOTALS 448.5 sm 4,828.0 SF 404.3 sm 4,331.8 SF

Building Height Calculations

BUILDING	CORNER	NORTHWEST	NORTHEAST	SOUTHWEST	SOUTHWEST
BUILDING A	NORTHWEST CORNER	20.95m	68.73'		
		21.20m	69.55'		
	NORTHEAST CORNER	21.70m	71.19'		
		20.65m	67.75'		
	SOUTHWEST CORNER	20.65m	67.75'		
		20.65m	67.75'		
SUBTOTALS		84.50m	277.23'		
AVERAGE GRADE		21.13m	69.31'		
MAXIMUM ALLOWABLE BUILDING HEIGHT ELEVATION (8 sm)		28.00m	91.85'		
PROPOSED BUILDING FLOOR LEVEL		21.00m	68.90'		
BUILDING HEIGHT ABOVE FLOOR LEVEL		7.18m	23.56'		
ELEVATION OF PROPOSED RIDGELINE		28.18m	92.46'		

UNDER MAX 14.15m / 46.42' CR
UNDER MAX 14.75' CR

BUILDING	CORNER	NORTHWEST	NORTHEAST	SOUTHWEST	SOUTHWEST
BUILDING B	NORTHWEST CORNER	20.60m	66.93'		
		19.95m	65.45'		
	NORTHEAST CORNER	21.12m	69.29'		
		21.07m	69.13'		
	SOUTHWEST CORNER	21.07m	69.13'		
		20.64m	67.72'		
SUBTOTALS		82.54m	270.80'		
AVERAGE GRADE		20.64m	67.72'		
MAXIMUM ALLOWABLE BUILDING HEIGHT ELEVATION (8 sm)		29.14m	95.60'		
PROPOSED BUILDING FLOOR LEVEL		20.65m	68.41'		
LOWEST PROPOSED BUILDING FLOOR LEVEL		8.27m	27.13'		
BUILDING HEIGHT ABOVE LOWEST FLOOR LEVEL		20.88m	68.68'		
ELEVATION OF PROPOSED RIDGELINE		29.12m	95.54'		

UNDER MAX 14.15m / 46.42' CR
UNDER MAX 14.06' CR

DOE TO CLOSURE OF BUILDING B HEIGHT TO MAXIMUM ALLOWABLE, BUILDER IS RECOMMENDED TO PROVIDE AN ELEVATION CERTIFICATE AT FOUNDATION POOR & TOPPING OUT TO ASSURE HEIGHT COMPLIANCE

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- DRAWING ISSUE & REVISIONS**
- | DATE | DESCRIPTION |
|----------|-----------------------------------|
| 01/20/23 | INITIAL CONCEPT PLAN |
| 02/02/23 | REVISIONS TO CONCEPT PLAN |
| 02/02/23 | PROGRESS DRAWING |
| 02/02/23 | PROGRESS DRAWING |
| 02/02/23 | BUILDING PERMIT PROCESS DRAWING |
| 02/02/23 | BUILDING PERMIT SUBMITTAL DRAWING |



Doug Cole Architect
Architect
Interior Design
Development
Construction Management

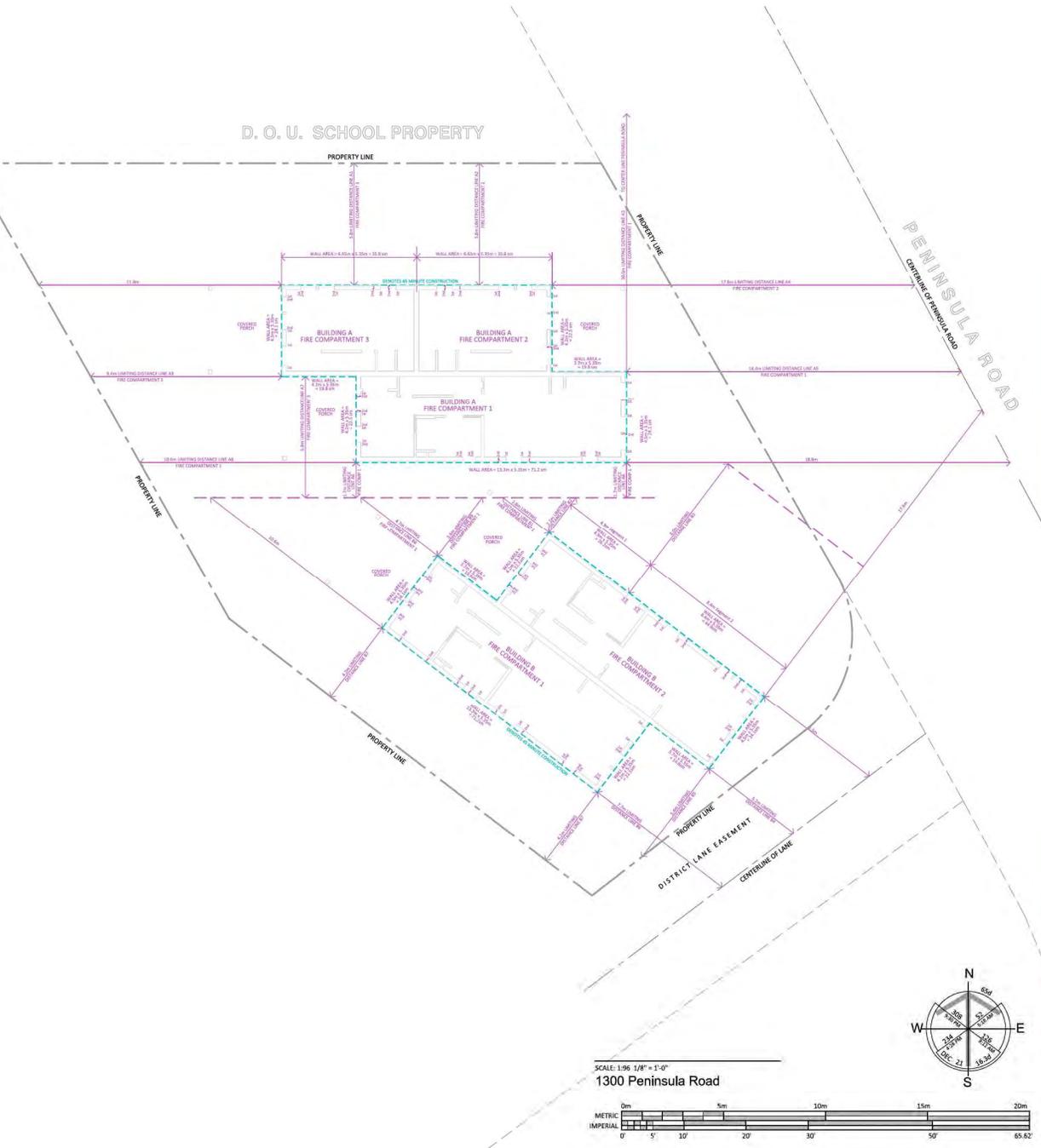
DAC ARCHITECTURE, LLC
810 DOUG COLE ARCHITECT
12700 W. HASTINGS
VANCOUVER, BC V6V 1Z3
778-433-2333

DISTRICT OF UCLUELET
300 MAIN STREET, PO BOX 888
UCLUELET, BC

5-UNIT SUPPORTIVE HOUSING
1300 PENINSULA ROAD
UCLUELET, BC V0R 3A0

Permit Submittal Drawings

Appendix 14 of 117
SITE PLAN, BUILDING & LOT COVERAGES CALCULATIONS



2018 BCBC Part 9 Code Compliance

PROPOSED CONSTRUCTION TYPE
 TWO STOREY, COMBUSTIBLE, NON-SPRINKLERED WOOD FRAME STRUCTURES ON REINFORCED CONCRETE FOOTINGS AND FOUNDATIONS

9.10.2 OCCUPANCY CLASSIFICATIONS
 ALL DWELLING UNITS IN BOTH BUILDINGS ARE TWO STOREY SIDE-BY-SIDE GROUP C RESIDENTIAL OCCUPANCY

9.10.8.1 FIRE RESISTANCE RATINGS FOR ROOFS AND FLOORS
 BUILDINGS A & B
 FLOOR ASSEMBLIES CONTAINED WITHIN DWELLING UNITS NEED NOT BE CONSTRUCTED AS FIRE SEPARATING

9.10.9.14 SEPARATION OF RESIDENTIAL SUITES
 9.10.9.14(3) TWO-LEVEL SUITES IN TOWNHOME CONFIGURATION: 1 HOUR FIRE SEPARATION BETWEEN DWELLING UNITS

9.10.13 CLOSURES IN FIRE SEPARATIONS
 NO OPENINGS ARE PROPOSED BETWEEN ADJACENT DWELLING UNITS, HOWEVER IF DOORS, DAMPERS, OR OTHER CLOSURES ARE REQUIRED FOR MECHANICAL, ELECTRICAL, OR OTHER BUILDING SYSTEMS, PROVIDE ONE-HOUR FIRE SEPARATION WITH MINIMUM CLOSURE RATING OF 45-MINUTES

9.10.15 SPATIAL SEPARATION BETWEEN HOUSES
 REFER TO PLAN SHEET AL.3 FOR LIMITING DISTANCE AND GLAZING COMPLIANCE CALCULATIONS

9.10.15.5 CONSTRUCTION OF EXPOSING BUILDING FACES FOR HOUSES
 IN NO CASE IS THE LIMITING DISTANCE LESS THAN 1.2m, THEREFORE THE EXTERIOR CLADDING MAY BE OF NON-COMBUSTIBLE CONSTRUCTION.

Limiting Distance and Exposing Building Face Calculations

Building	Type	Fire Compartment	Wall Area (m ²)	Opening Area (m ²)	% Opening Proposed	Limiting Distance (m)	Table LD (m) and %		Table LD (m) and %		
							Allowed	(Interpolate)			
Building A	Yes	North Wall	A1	35.6	5.7	16.0%	5.8	4.0	5.8	6.0	
			A2	35.6	5.7	16.0%	5.8	4.0	5.8	6.0	
		North Wall	A3	19.8	0.0	0.0%	30.5	25.0	30.5	15.0	15.0
			A4	22.5	5.9	26.2%	17.8	16.0	17.8	16.0	16.0
		East Wall	A5	24.1	4.4	18.9%	16.4	16.0	16.4	16.0	16.0
			A6	71.2	5.4	7.9%	1.7	1.5	1.7	2.0	2.0
		South Wall	A7	19.8	0.0	0.0%	5.9	6.0	5.9	8.0	8.0
			A8	22.5	4.5	20.0%	10.6	10.0	10.6	10.0	10.0
		West Wall	A9	23.2	5.9	25.4%	9.4	8.0	9.4	8.0	8.0
			A0	23.2	5.9	25.4%	9.4	8.0	9.4	8.0	8.0

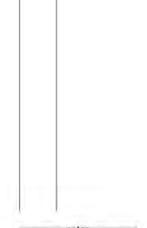
Building	Type	Fire Compartment	Wall Area (m ²)	Opening Area (m ²)	% Opening Proposed	Limiting Distance (m)	Table LD (m) and %		Table LD (m) and %	
							Allowed	(Interpolate)		
Building B	Yes	Northwest Wall	B1	22.5	4.5	20.0%	2.8	2.0	2.8	4.0
			B2	26.2	0.0	0.0%	2.2	2.0	2.2	4.0
		Northwest Wall Seg 2	B3	44.9	7.3	16.3%	8.0	8.0	8.0	8.0
			B4	24.1	5.9	24.5%	5.2	4.0	5.2	6.0
		Southeast Wall	B5	19.8	0.0	0.0%	6.4	4.0	5.4	6.0
			B6	22.5	5.9	26.2%	7.7	6.0	7.7	8.0
		Southwest Wall	B7	71.2	8.3	11.7%	4.2	4.0	4.2	6.0
			B8	24.1	4.5	18.7%	4.7	4.0	4.7	6.0
		Northwest Wall	B9	19.8	0.0	0.0%	3.4	2.0	3.4	4.0
			B0	19.8	0.0	0.0%	3.4	2.0	3.4	4.0

BC Housing Design Guidelines - Comparison to Proposed

PLAN ELEMENT	BC HOUSING GUIDELINES	PROVIDED/DESIGNED
TOWNHOME NET UNIT AREA	600 SF (56 sqm)	603.5 SF (56.1 sqm)
ONE BEDROOM UNITS	969 SF (90 sqm)	1,207 SF (112.1 sqm)
LIVING AREA & SEATING CAPACITY		
ONE BEDROOM UNIT	4	4
TWO BEDROOM UNIT	5	5
DINING SEATING CAPACITY		
ONE BEDROOM UNIT	4	4
TWO BEDROOM UNIT	4	4
BEDROOM TYPE & BEDS		
ONE BEDROOM UNIT	B (ONE DOUBLE)	B
TWO BEDROOM UNIT	A (TWO SINGLE) + B (ONE DOUBLE)	A + B
BEDROOM SIZES		
BEDROOM TYPE A	120 SF MIN / 9'-2" MIN DIM / 5'-0" MIN CLOSET	A + B
BEDROOM TYPE B	100 SF MIN / 9'-2" MIN DIM / 5'-0" MIN CLOSET	A + B
BUILDING A ONE BEDROOM UNITS		
COMPLIANCE NOTES:	107 SF PROVIDED / 9'-8" SMALLEST DIM / 4'-11" CLOSET LENGTH ROOM SIZE OK / SMALLEST DIM OK / CLOSET 1" SHORT	
BUILDING A TWO BEDROOM UNIT		
BEDROOM 1 (TYPE A)	123 SF PROVIDED / 8'-11" SMALLEST DIM / 4'-9" CLOSET LENGTH ROOM SIZE OK / SMALLEST DIM 3" SHORT / CLOSET 4" SHORT	
BEDROOM 2 (TYPE B)	100.5 SF PROVIDED / 9'-8" SMALLEST DIM / 4'-9" CLOSET LENGTH ROOM SIZE OK / SMALLEST DIM OK / CLOSET 4" SHORT	
BUILDING B TWO BEDROOM UNITS		
BEDROOM 1 (TYPE A)	123 SF PROVIDED / 8'-11" SMALLEST DIM / 4'-9" CLOSET LENGTH ROOM SIZE OK / SMALLEST DIM 3" SHORT / CLOSET 4" SHORT	
BEDROOM 2 (TYPE B)	100.5 SF PROVIDED / 9'-8" SMALLEST DIM / 4'-9" CLOSET LENGTH ROOM SIZE OK / SMALLEST DIM OK / CLOSET 4" SHORT	
KITCHEN COUNTER FRONTAGE	#MIN	11' PROVIDED
BATHROOMS		
ONE BEDROOM UNITS	3 PIECE WITH 36x48" SHOWER	PROVIDED
TWO BEDROOM UNITS	3 PIECE WITH 36x48" TUB/SHOWER	PROVIDED
HALLWAYS	4'-0" STAIR WIDTH PROVIDED EXCEEDS BCBC REQUIREMENTS ADDITIONAL WIDTH IS NOT POSSIBLE DUE TO BUILDING CONFIGURATION	PROVIDED
HALLWAYS	40" - 42" HALLWAY WIDTH RECOMMENDED	36" HALLWAY WIDTH PROVIDED EXCEEDS BCBC REQUIREMENTS ADDITIONAL WIDTH IS NOT POSSIBLE DUE TO BUILDING CONFIGURATION

UNLESS OTHERWISE SPECIFIED, THE DIMENSIONS AND LOCATIONS SHALL BE AS SHOWN ON THIS DRAWING. VIEWING IS ALSO REPRODUCED TO SCALE. WRITTEN MEMORANDUM SUPPLEMENT SHALL BE.

DATE	DESCRIPTION
09/20/20	INITIAL CONCEPT PLAN
10/02/20	CONCEPT DEVELOPMENT PROCESS PRINTING
10/27/20	PROCESS PRINTING
11/02/20	PROCESS PRINTING
11/02/20	BUILDING PERMIT PROCESS PRINTING
01/07/21	BUILDING PERMIT PROCESS PRINTING
01/07/21	BUILDING PERMIT SUBMITTAL PRINTING



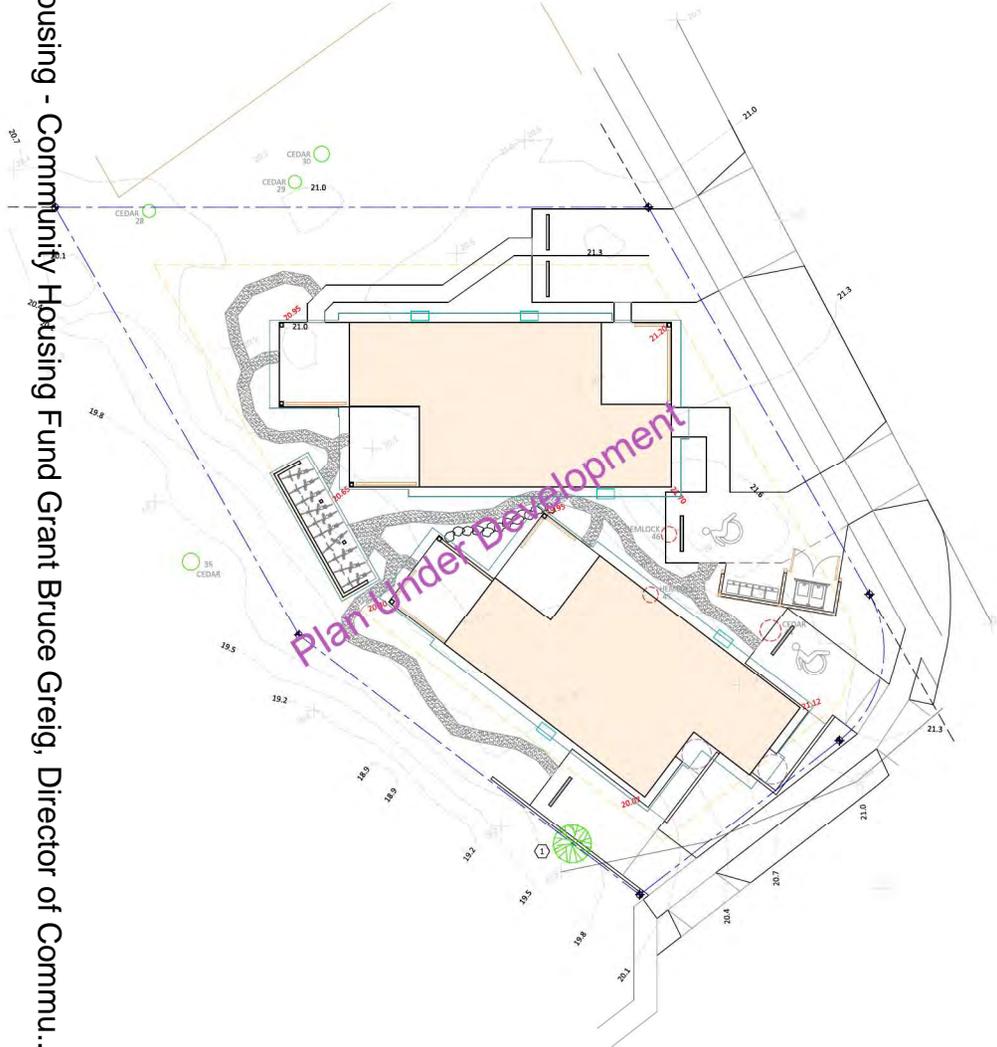
District of Ucluelet
 200 MAIN STREET, PO BOX 888
 UCLUELET, BC V0R 3A0

District of Ucluelet
 200 MAIN STREET, PO BOX 888
 UCLUELET, BC V0R 3A0

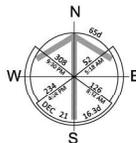
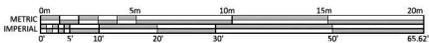
5-UNIT SUPPORTIVE HOUSING
 ONE BUILDING
 1300 PENINSULA ROAD
 UCLUELET, BC V0R 3A0

Permit Submittal Drawings

DRAWN BY	DATE	BY	DATE
DAC		CC	
AS NOTED			
BUILDING ANALYSIS LIMITING DISTANCE CALCULATIONS			
REV. NO.		DATE	
-			



Landscape Plan
SCALE: 1:120 1" = 10.0'
1300 Peninsula Road



Landscape Plan Key Notes

- ① RELOCATE EXISTING CHERRY TREE PER SITE PLAN KEY NOTE 32

General Notes

- UNLESS NOTED OTHERWISE ON THESE DRAWINGS, THE INTENT OF THE LANDSCAPE DESIGN IS TO REPLICATE AND REPLACE THE EXISTING NATIVE VEGETATION THAT HAS BEEN REMOVED OR DISTURBED DURING CONSTRUCTION ACTIVITIES
- PLANT SPACING MAY BE ADJUSTED IN THE FIELD TO WORK WITH EXISTING CONDITIONS. THE GOAL IS TO HAVE FULL INFILL OF REPLANTED NATIVE AREAS WITHIN ONE GROWING SEASON.

Drawing Symbols

- 16'X24" BARRIER FREE/DISABLED PARKING SIGN MOUNTED TO GALV METAL POLE
- 16'X24" ALUMINUM SIGN WITH "PARKING FOR RESIDENCES ONLY" TEXT, MOUNTED TO GALV METAL POLE. SUBMIT SAMPLE OF ALL PROPOSED GRAPHICS AND SIGN MATERIALS TO ARCHITECT FOR PRIOR APPROVAL.
- ROCK RETAINING WALL PER CIVIL & GEOTECH DETAILS.
- SPILT RAIL FENCINGS. COORDINATE WITH ARCHITECT DURING CONSTRUCTION TO FIELD ESTABLISH IF REQUIRED DUE TO GRADIENT CHANGE BETWEEN SITE AND NEIGHBORING PROPERTIES.
- DRIVE AND PARKING AREA LIGHTING PER ELECTRICAL SPECIFICATIONS
- PAINTED WHITE GRAPHICS OR TEXT ON PAVEMENT
- CONCRETE WALKWAY

Planting Legend

% COUNT EQUALS TOTAL PLANTINGS. (#) COUNT BELOW INDICATES QUANTITY OF THOSE PLANTINGS IN THE PUBLIC REALM

- EXISTING NATIVE VEGETATION TO REMAIN/UNDISTURBED
- (#) BELOW COUNT IS NUMBER OF PLANTINGS WITHIN PUBLIC REALM
- TREES**
 - (0) SITKA SPRUCE (PICEA SITCHENSIS) 10-12 FT HEIGHT 3 COUNT (0) KWANZAN CERRY (PRUNUS SPINULATA) 6-8 FT HEIGHT
 - (0) WESTERN RED CEDAR (THUJA PLICATA) 10-12 FT HEIGHT 34 COUNT (0) CALIFORNIA WAX MYRTLE (MYRTICA CALIFORNICA) #3 CONTAINER AT 8" OC
- SHRUBS & BUSHES**
 - (0) RHODODENDRON (RED RHODODENDRON NOVA ZEMBLA) #3 CONTAINER AT LOCATIONS SHOWN XXXX COUNT (0) SALAL (GUALTHERIA SHALLON) #1 CONTAINER AT LOCATIONS SHOWN
 - (0) EVERGREEN HUCKLEBERRY (VACCINIUM OVATUM) #1 CONTAINER AT LOCATIONS SHOWN XXXX COUNT (0) ENCORE AZALEA (RHODODENDRON ENCORE) #1 CONTAINER AT LOCATIONS SHOWN
- GROUNDCOVERS**
 - XXXX COUNT (0) SWORD FERN (POLYSTICHUM MUNITUM) #1 CONTAINERS AT LOCATIONS SHOWN XXXX COUNT (0) DEER FERN (BLECHNUM SPICANT) #1 CONTAINERS AT LOCATIONS SHOWN
 - XXXX COUNT (0) LADY FERN (ATHYRIUM FILIX-FEMINA) #1 CONTAINERS AT LOCATIONS SHOWN

Public Realm Landscape Budget

BUDGET PENDING

UNLESS NOTED OTHERWISE, THE DIMENSIONS ASSUMED TO BE IN ACCORDANCE WITH THE VERTICAL CURVATURE OF THE EARTH. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

DRAWING ISSUE & REVISIONS

DATE	DESCRIPTION
01/24/2023	INITIAL CONCEPT PLAN
02/02/2023	CONCEPT PLAN PROCESS PRINTING
02/02/2023	PROCESS PRINTING
02/02/2023	BUILDING PERMIT PROCESS PRINTING
02/02/2023	BUILDING PERMIT PROCESS PRINTING
02/02/2023	BUILDING PERMIT SUBMITAL PRINTING



DISTRICT OF UCLUELET
200 MAIN STREET - PO BOX 989
UCLUELET, BC
V9A 6A4

5-UNIT SUPPORTIVE HOUSING
1300 PENINSULA ROAD
UCLUELET, BC V9R 3A0

Permit Submittal Drawings

Appendix A

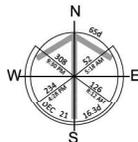
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DAC	01/24/2023

LANDSCAPE PLAN

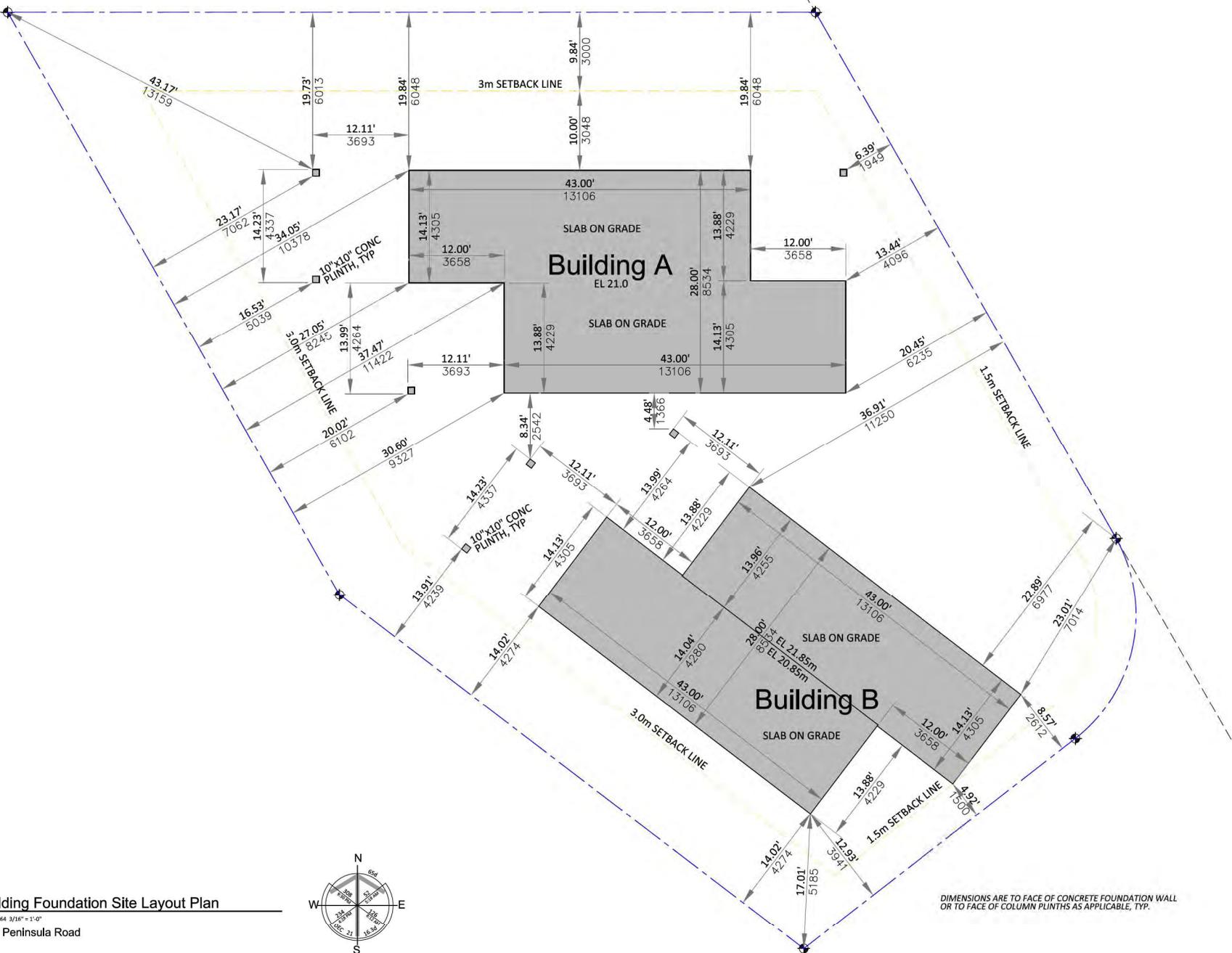
REV/ISS	DATE
-	-

Building Foundation Site Layout Plan

SCALE: 1:64 3/16" = 1'-0"
1300 Peninsula Road



DIMENSIONS ARE TO FACE OF CONCRETE FOUNDATION WALL OR TO FACE OF COLUMN PLINTHS AS APPLICABLE, TYP.



USE OF THIS DRAWING: THIS DOCUMENT IS ACCURATE TO SCALE FOR THE PURPOSES OF THE DRAWING. IT IS NOT TO BE USED FOR ANY OTHER PURPOSE. ANY REVISIONS TO THIS DRAWING SHALL BE MADE BY THE ARCHITECT. ANY REVISIONS TO THIS DRAWING SHALL BE MADE BY THE ARCHITECT.

DATE	DESCRIPTION
01/20/20	INITIAL CONCEPT PLAN
02/02/20	CONCEPT PROCESS PRINTING
02/02/20	PROCESS PRINTING
02/02/20	BUILDING PERMIT PROCESS PRINTING
02/02/20	BUILDING PERMIT PROCESS PRINTING
02/02/20	BUILDING PERMIT SUBMITTAL PRINTING



Doug Cole Architect
Architect
Planning
Development
Construction
Management

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250-688-2233

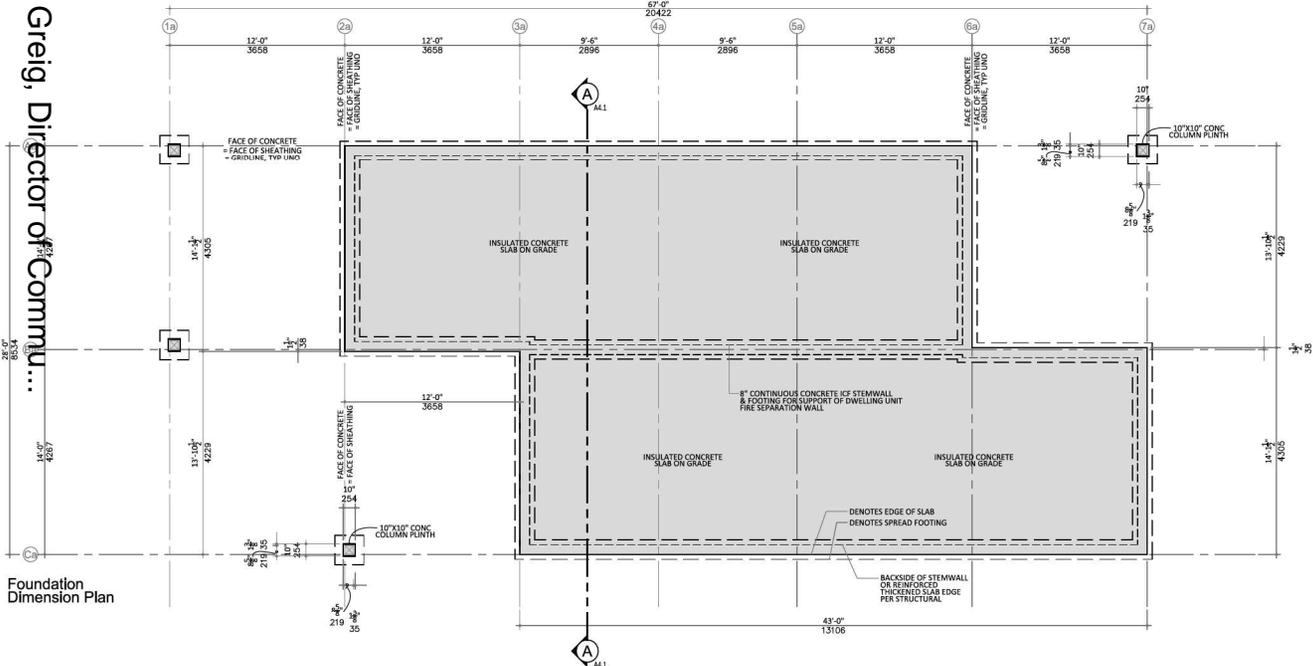
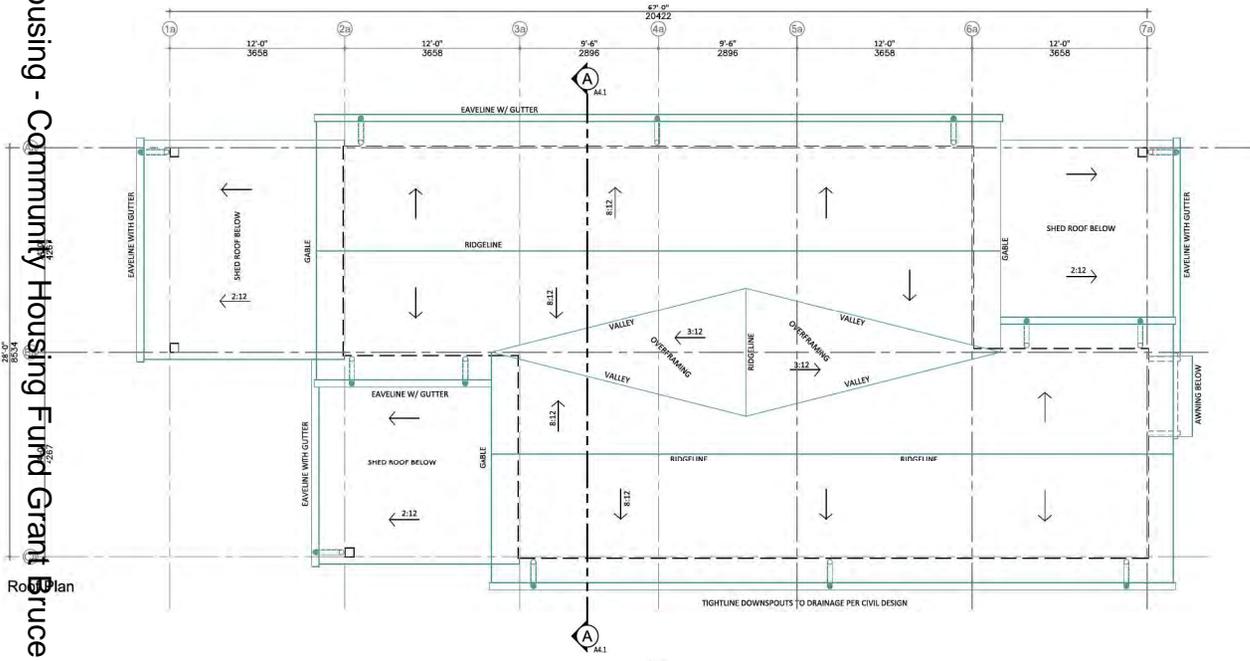
DISTRICT OF UCLUELET
200 MAIN STREET - FLOOR 208
UCLUELET, BC
V9A 3A4

5-UNIT SUPPORTIVE HOUSING
DMS NUMBER:
1300 PENINSULA ROAD
UCLUELET, BC V9A 3A4

Permit Submittal Drawings

DRAWN BY:	DAC	DATE:	01/20/20
CHECKED BY:	DAC	DATE:	01/20/20
DESIGNED BY:	DAC	DATE:	01/20/20
PROJECT:	BUILDING FOUNDATION SITE LAYOUT PLAN		

REVISED:	DATE:	DESCRIPTION:
-	-	-



General Notes

1. TERMINATE ALL BATHROOM AND KITCHEN SINK WASTE LINE PLUMBING TO 14" ABOVE FLOOR SHEATHING TO ALLOW FOR FUTURE COUNTERTOP LOWERING FOR ACCESSIBLE UNIT CONVERSION

Key Notes

- ①
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- DRAWING ISSUE & REVISIONS**
- | DATE | DESCRIPTION |
|----------|------------------------------------|
| 04/20/22 | INITIAL CONCEPT PLAN |
| 05/02/22 | CONCEPT ARCHITECTURE PRINTING |
| 04/20/22 | PROCESS PRINTING |
| 04/20/22 | BUILDING PERMIT PROCESS PRINTING |
| 04/20/22 | BUILDING PERMIT PROCESS PRINTING |
| 04/20/22 | BUILDING PERMIT SUBMITTAL PRINTING |



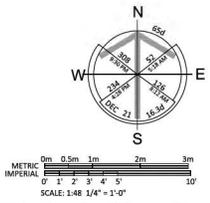
Doug Cole Architect
 Architecture
 Planning
 Development
 Construction
 Management

DAC ARCHITECTURE, LLC
 800 ROSS COLE ARCHITECT
 200 MAIN STREET - FORDOX 888
 UCLUELET, BC
 V0R 3A0

DISTRICT OF UCLUELET
 200 MAIN STREET - FORDOX 888
 UCLUELET, BC
 V0R 3A0

5-UNIT SUPPORTIVE HOUSING
 1300 PENINSULA ROAD
 UCLUELET, BC V0R 3A0

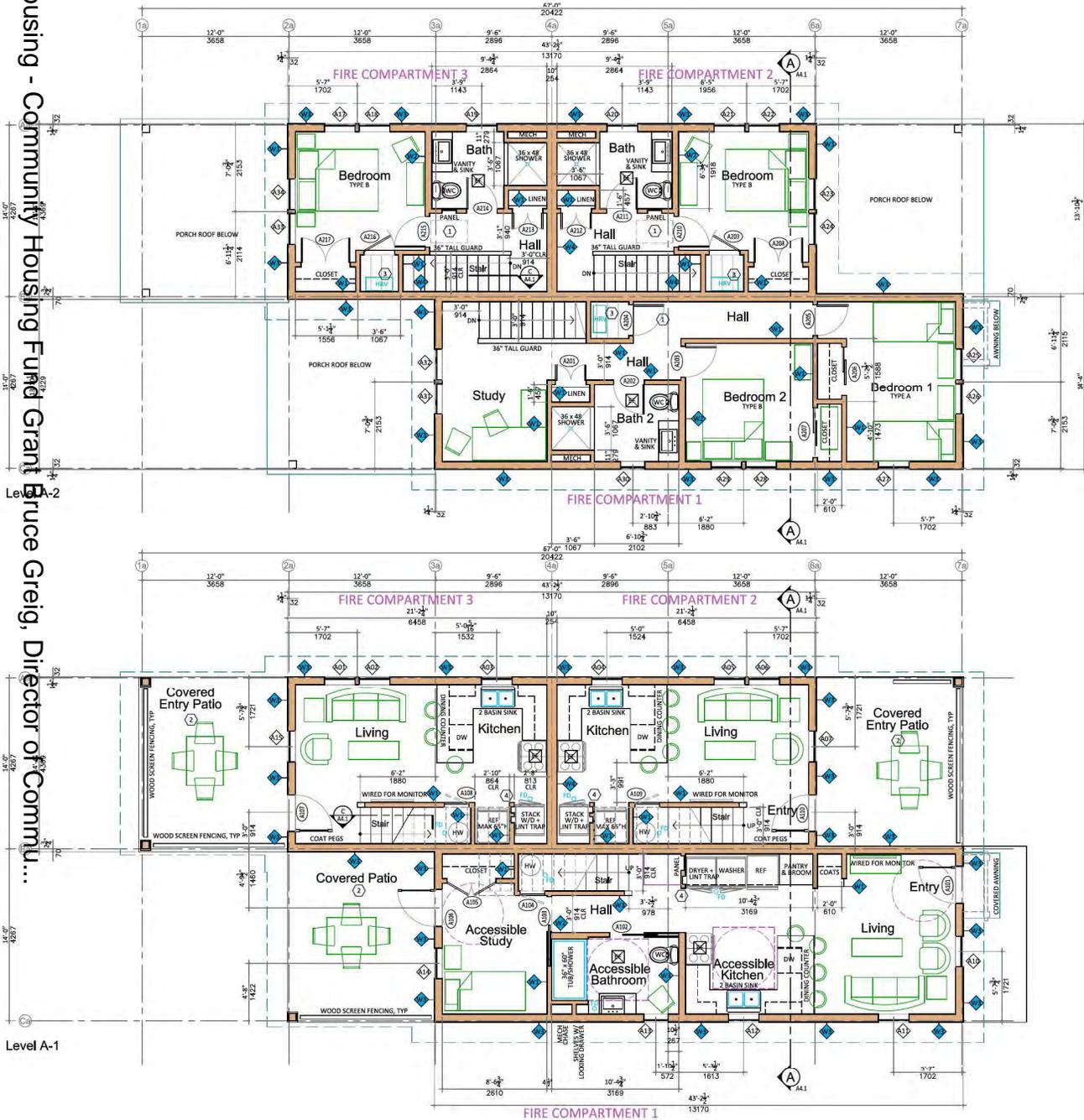
Permit Submittal Drawings



BUILDING A

Appendix 2 of 117

DRAWN BY:	DAC	DATE:	04/20/22
SCALE:	AS NOTED	PROJECT:	5-UNIT SUPPORTIVE HOUSING
SHEET NO.:	28	CLIENT:	1300 PENINSULA ROAD UCLUELET, BC V0R 3A0
BUILDING FOUNDATION DIMENSIONS			
ROOF PLAN			
REV. NO.:	-	SHEET:	28



General Notes

1. TERMINATE ALL BATHROOM AND KITCHEN SINK WASTE LINE PLUMBING TO 1/4" ABOVE FLOOR SHEATHING TO ALLOW FOR FUTURE COUNTERTOP LOWERING FOR ACCESSIBLE UNIT CONVERSION

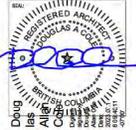
Floor Plan Key Notes

1. 22"x36" INSULATED ATTIC ACCESS HATCH
2. SLOPE PATIO SLABS AWAY FROM BUILDING FACE AT 1/4" PER FOOT TO GRATED METAL TRENCH DRAIN
3. HEV UNIT ON RAISED PLATFORM TO MAINTAIN MINIMUM HEADROOM CLEARANCE OF 7' ABOVE CLOSET TRAIL DIRECTLY BELOW.
4. PROVIDE WATER SHUT OFF VALVE AND DRAIN BOX FOR STACK WASHER DRYER. LOCATE SUCH THAT WATER CAN BE SHUT OFF WITHOUT HAVING TO PULL THE STACK UNITS INTO THE ROOM

UNLESS OTHERWISE SPECIFIED, THE DRAWING SHALL BE ACCURATE TO THE SCALE INDICATED THEREON. THE DRAWING SHALL BE REPRODUCED TO SCALE. WRITTEN MEMBERSHIP SUPERVISOR SIGNATURE.

DRAWING ISSUE & REVISIONS

DATE	DESCRIPTION
04/20/22	INTERNAL CONCEPT PLAN
05/03/22	CONCEPT PLAN PROCESS PRINTING
06/02/22	PROCESS PRINTING
06/02/22	BUILDING PERMIT PROCESS PRINTING
06/02/22	BUILDING PERMIT PROCESS PRINTING
07/02/22	BUILDING PERMIT SUBMITTAL PRINTING



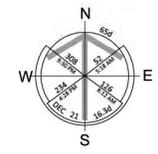
Doug Cole Architect
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 Construction
 Management

DAC ARCHITECTURE LLC
 800 FRODO COLE ARCHITECT
 200 MAIN STREET - FORDOX BIR
 UCLUELET, BC
 V0R 3A0

DISTRICT OF UCLUELET
 200 MAIN STREET - FORDOX BIR
 UCLUELET, BC
 V0R 3A0

5-UNIT SUPPORTIVE HOUSING
 1300 PENINSULA ROAD
 UCLUELET, BC V0R 3A0

Permit Submittal Drawings

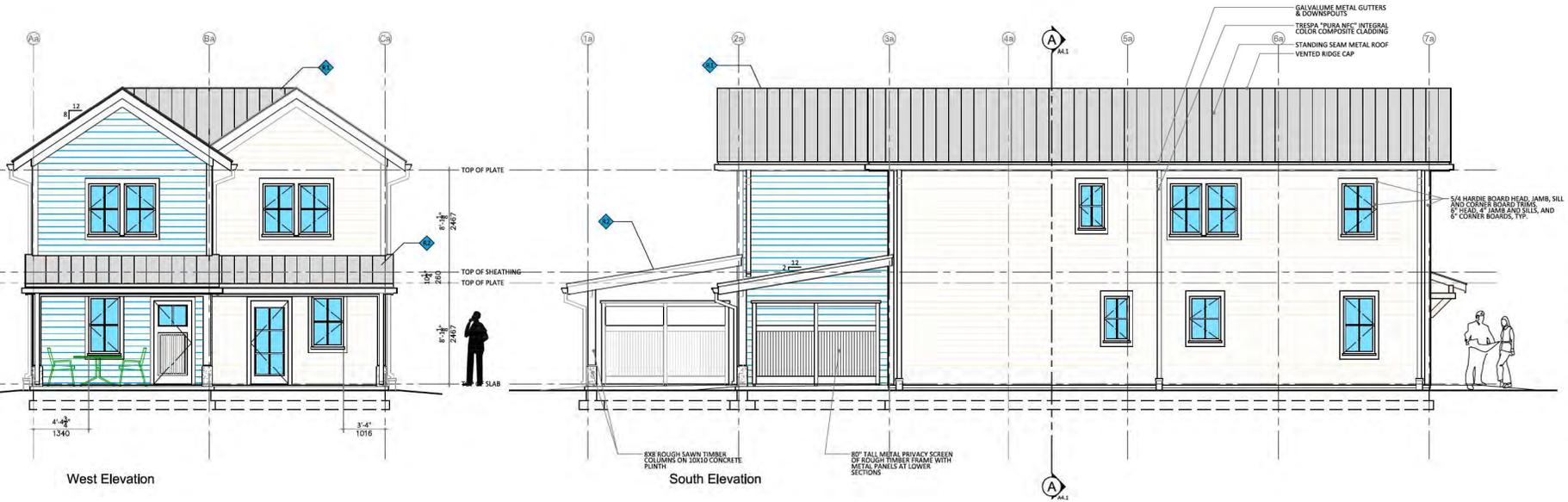


BUILDING A

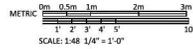
Appendix A

DRAWN BY:	DAC	DATE:	04/20/22
SCALE:	AS NOTED	PROJECT:	5-UNIT SUPPORTIVE HOUSING
SHEET TITLE:	BUILDING FLOOR PLAN	REVISED:	-

29 of 117



BUILDING A ELEVATIONS



BUILDING A

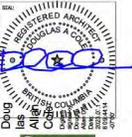


North Elevation

East Elevation

UNLESS OTHERWISE SPECIFIED, THE DIMENSIONS AND MATERIALS ARE TO BE AS SHOWN AND NOT TO BE ACCURATE TO SCALE. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.

DATE	DESCRIPTION
04/20/22	INITIAL CONCEPT PLAN
04/27/22	CONCEPT PLAN PROCESS PRINTING
04/27/22	PROCESS PRINTING
04/27/22	BUILDING PERMIT PROCESS PRINTING
04/27/22	BUILDING PERMIT PROCESS PRINTING
04/27/22	BUILDING PERMIT PROCESS PRINTING
04/27/22	BUILDING PERMIT PROCESS PRINTING



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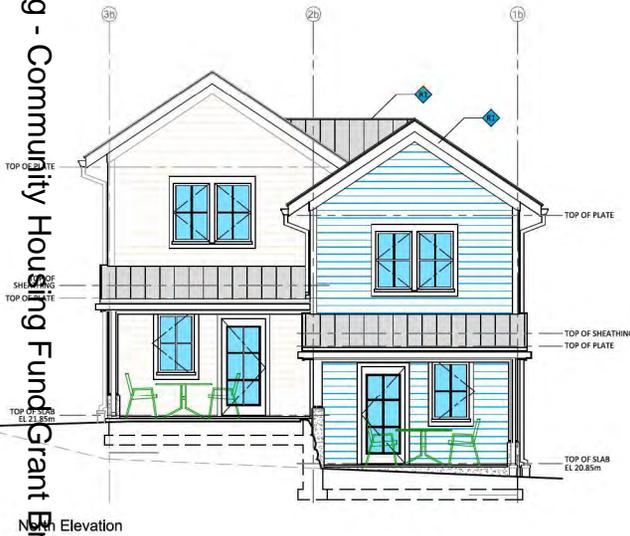
DAC ARCHITECTURE LLC
 800 FRODO COLE ARCHITECT
 Doug Cole Architect
 604-682-0222
 302-682-0222

DISTRICT OF UCLUELET
 200 MAIN STREET - PO BOX 989
 UCLUELET, BC
 V0R 2A4

5-UNIT SUPPORTIVE HOUSING
 1300 PENINSULA ROAD
 UCLUELET, BC V0R 2A0

Permit Submittal Drawings

DRAWN BY:	DAC	DATE:	04/20/22
SCALE:	AS NOTED	PROJECT:	BUILDING ELEVATIONS
REVISED:	-	SHEET:	A-1

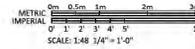


North Elevation



East Elevation

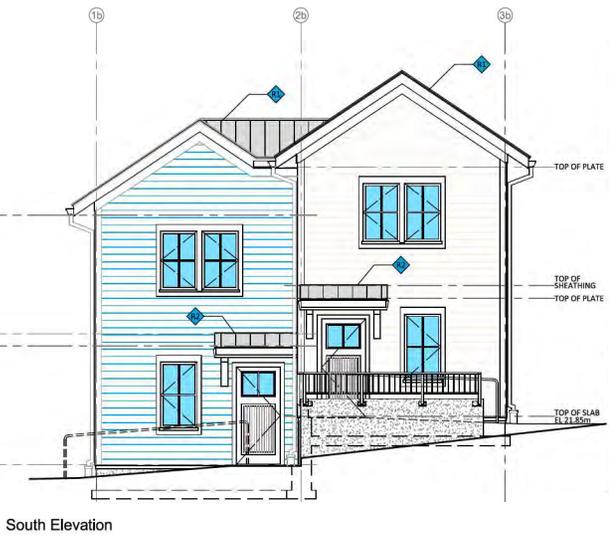
BUILDING B ELEVATIONS



BUILDING B



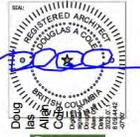
West Elevation



South Elevation

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DATE	DESCRIPTION
01/20/2020	INTERNAL CONCEPT PLANS
02/03/2020	CONCEPT PLAN APPROVED FOR PERMITTING
02/27/2020	PERMITTING PROCESSING
03/03/2020	BUILDING PERMIT PROCESSING
03/03/2020	BUILDING PERMIT PROCESSING
03/03/2020	BUILDING PERMIT PROCESSING
03/03/2020	BUILDING PERMIT SUBMITTAL #1/1/1/1



Doug Cole Architect
Architect
Planning
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Construction
Management

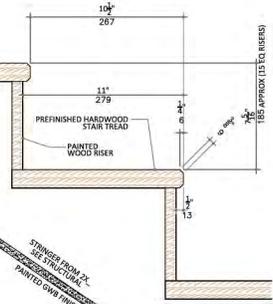
DAC ARCHITECTURE, LLC
840 FRODO COLE ARCHITECT
2120 Fraser Street
Vancouver, BC V6L 1K2
778-433-8233

DISTRICT OF UCLUELET
200 MAIN STREET - PO BOX 909
UCLUELET, BC V0R 3A0

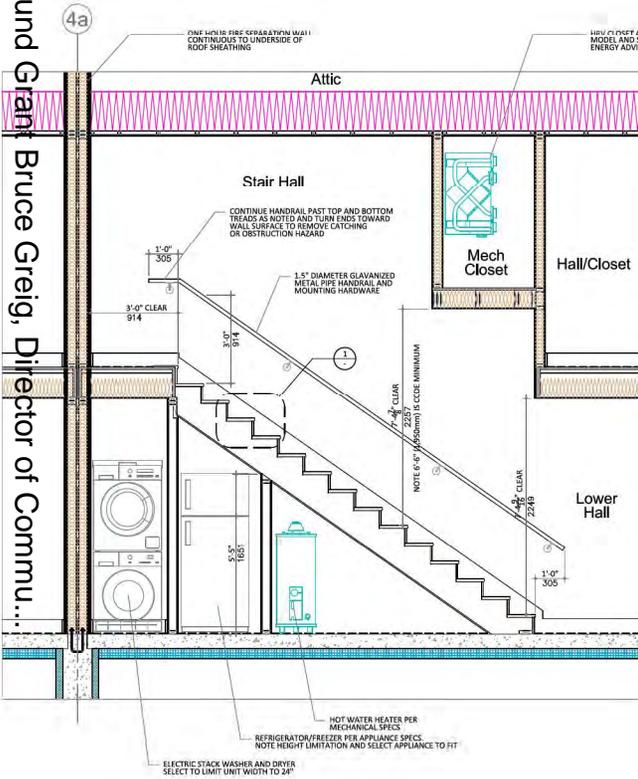
PROJECT
5-UNIT SUPPORTIVE HOUSING
DRC ADDRESS
1300 PENINSULA ROAD
UCLUELET, BC V0R 3A0

PERMIT NOTES
Permit Submittal Drawings

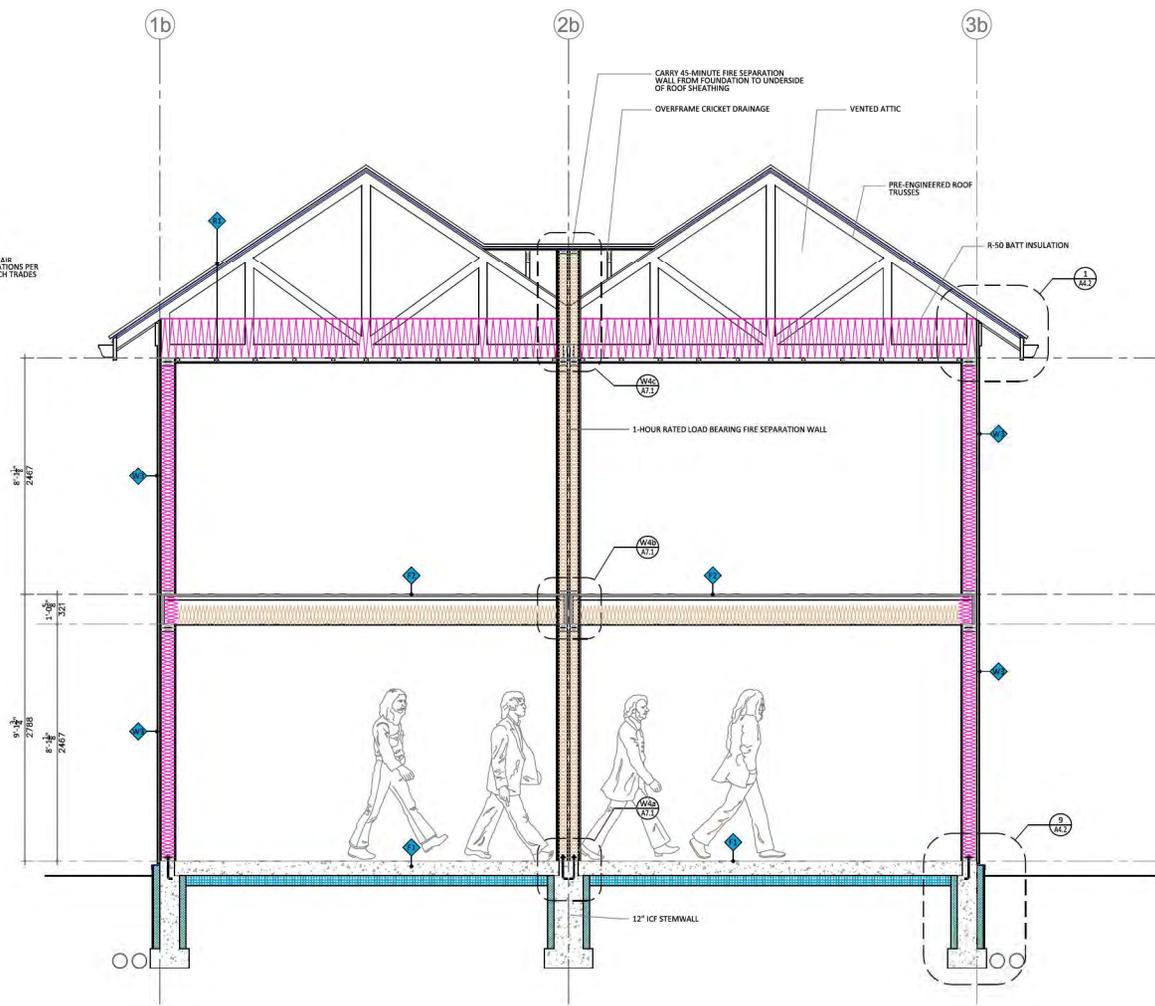
DRAWN BY:	DAC	DATE:	01/20/2020
CHECKED BY:	AS NOTED	DATE:	
SHEET NO.:	BUILDING ELEVATIONS	TOTAL SHEETS:	33
REVISED:		DATE:	



Typical Residence Tread & Riser
SCALE: 3" = 1'-0"



Stair Section C
SCALE: 1/24 1/2" = 1'-0"



Building A Section A-A
SCALE: 1/24 1/2" = 1'-0"
METRIC IMPERIAL

UNLESS NOTED OTHERWISE, THE DRAWINGS ARE TO BE CONSIDERED AS PER THE BC HOUSING FUND GRANT AGREEMENT. THE DRAWINGS ARE TO BE CONSIDERED AS PER THE BC HOUSING FUND GRANT AGREEMENT. THE DRAWINGS ARE TO BE CONSIDERED AS PER THE BC HOUSING FUND GRANT AGREEMENT.

DRAWING ISSUE & REVISIONS

DATE	DESCRIPTION
01/24/2024	INITIAL CONCEPT PLANS
02/01/2024	CONCEPT IN PROCESS PRINTING
02/07/2024	PROCESS PRINTING
02/13/2024	BUILDING PERMIT PROCESS PRINTING
02/20/2024	BUILDING PERMIT PROCESS PRINTING
02/27/2024	BUILDING PERMIT PROCESS PRINTING

Professional seal and logo for Doug Cole Architect, Architecture, Planning, Development, Construction Management.

DISTRICT OF UCLUELET
200 MAIN STREET - PO BOX 908
UCLUELET, BC
V0R 2A0

PROJECT:
5-UNIT SUPPORTIVE HOUSING
ONE ADDRESS:
1300 PENINSULA ROAD
UCLUELET, BC V0R 2A0

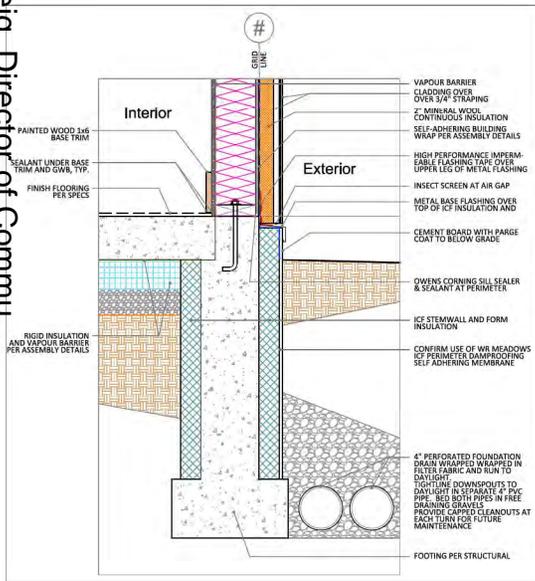
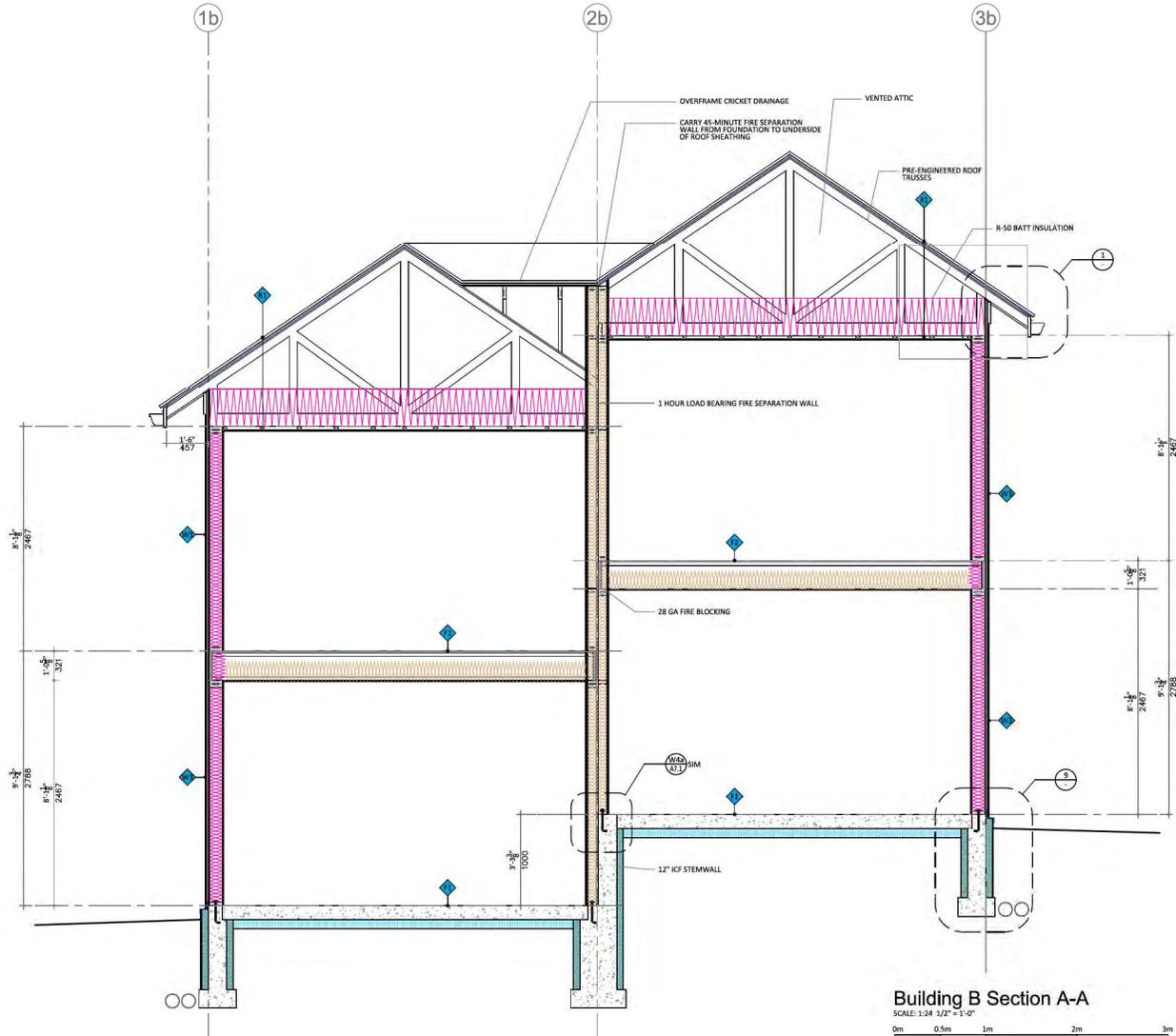
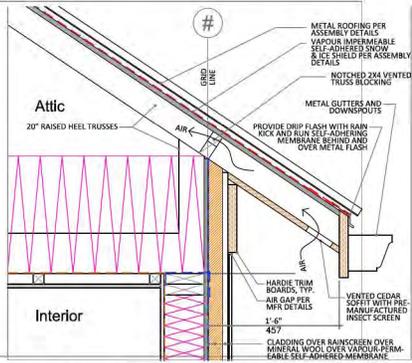
Permit Submittal Drawings

Appendix A of 117

DRAWN BY:	DATE:
DAC	01/24/2024

SCALE:	AS NOTED
1/24 1/2" = 1'-0"	

SHEET NO.:	BUILDING SECTION
1	BUILDING SECTION



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DATE	DESCRIPTION
04/20/23	INITIAL CONCEPT PLAN
05/02/23	CONCEPT PLAN PROCESS PRINTING
06/02/23	PROCESS PRINTING
06/02/23	BUILDING PERMIT PROCESS PRINTING
07/02/23	BUILDING PERMIT PROCESS PRINTING
07/02/23	BUILDING PERMIT SUBMITTAL PRINTING

Doug Cole Architect
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DAC ARCHITECTURE LLC
840 SODAS COVE ARCHITECT
200 Main Street - P.O. Box 309
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250-888-2333

DISTRICT OF UCLUELET
200 MAIN STREET - P.O. BOX 309
UCLUELET, BC V0R 3A0

5-UNIT SUPPORTIVE HOUSING
1300 PENINSULA ROAD
UCLUELET, BC V0R 3A0

Permit Submittal Drawings

DRAWN BY:	DAC	DATE:	07/23/23
SCALE:	AS NOTED	DISTRICT:	UCLUELET
PROJECT:	BUILDING PERMIT SUBMITTAL	BUILDING SECTION:	BUILDING SECTION
REVISED:	-	SHEET:	A45



General Notes

1. TERMINATE ALL BATHROOM AND KITCHEN SINK WASTE LINE PLUMBING TO 1/4" ABOVE FLOOR SHEATHING TO ALLOW FOR FUTURE COUNTERTOP LOWERING FOR ACCESSIBLE UNIT CONVERSION

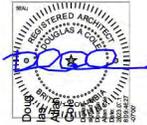
Lighting Plan Key Notes

- (1) 22"x36" INSULATED ATTIC ACCESS HATCH

Refer to Sheet A0.0 for Symbol Legend

UNLESS NOTED OTHERWISE THIS DRAWING WAS PLOTTED TO SCALE IN THE ORIGINAL "JOB" FILE. ASSUME THE FILE OR HANDCOPY PRINT YOU ARE VIEWING IS ALSO PLOTTED TO SCALE. DIMENSIONS SUPERCEDE GRAPHIC SCALELINE.

DRAWING ISSUE & REVISIONS	
DATE	DESCRIPTION
12/18/2023	FINAL CONCEPT FRAME
12/18/2023	CONCEPT FRAME PROCESS PRINTING
12/18/2023	CONCEPT FRAME PROCESS PRINTING
12/18/2023	BUILDING PERMIT PROCESS PRINTING
12/18/2023	BUILDING PERMIT PROCESS PRINTING
12/18/2023	BUILDING PERMIT SUBMITAL PRINTING

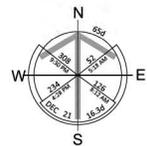


Doug Cole Architect
 Architects
 Planning
 Development
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 Maintenance
 DAC ARCHITECTURE, LLC
 1140 HERRING ROAD, SUITE 200
 UCLUELET, BC
 250.688.0228

DISTRICT OF UCLUELET
 200 MAIN STREET - PO BOX 899
 UCLUELET, BC
 V0R 3A0

5-UNIT SUPPORTIVE HOUSING
 1300 PENINSULA ROAD
 UCLUELET, BC V0R 3A0

Permit Submittal Drawings



METRIC: 0m 0.5m 1m 2m 3m
 IMPERIAL: 0' 1' 2' 3' 4' 5'
 SCALE: 1:48 1/4" = 1'-0"

BUILDING A

DRAWN BY:	DAC
SCALE:	AS NOTED
SHEET NO.:	BUILDING POWER LIGHTING

REV. NO.:	SHEET:
-	A69

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DATE	DESCRIPTION
04/20/22	INITIAL CONCEPT PLANS
05/03/22	CONCEPT AND PRELIMINARY PRINTING
06/27/22	PRELIMINARY PRINTING
07/20/22	BUILDING PERMIT PROCESS PRINTING
08/03/22	BUILDING PERMIT PROCESS PRINTING
07/20/22	BUILDING PERMIT SUBMITTAL PRINTING

Doug Cole Architect
 Architecture
 Planning
 Development
 Construction
 Management

DAC ARCHITECTURE LLC
 810 FRODO COLE ARCHITECT
 220 MAIN STREET - FORDOX Bldg
 UCLUELET, BC V0R 3A0
 250.689.0233

DISTRICT OF UCLUELET
 200 MAIN STREET - FORDOX Bldg
 UCLUELET, BC V0R 3A0

5-UNIT SUPPORTIVE HOUSING
 1300 PENINSULA ROAD
 UCLUELET, BC V0R 3A0

Permit Submittal Drawings

DRAWN BY	DAC	DATE	07/20/22
SCALE	AS NOTED		
SHEET TITLE	BUILDING POWER LIGHTING		
REV. NO.	-	SHEET	A02

General Notes

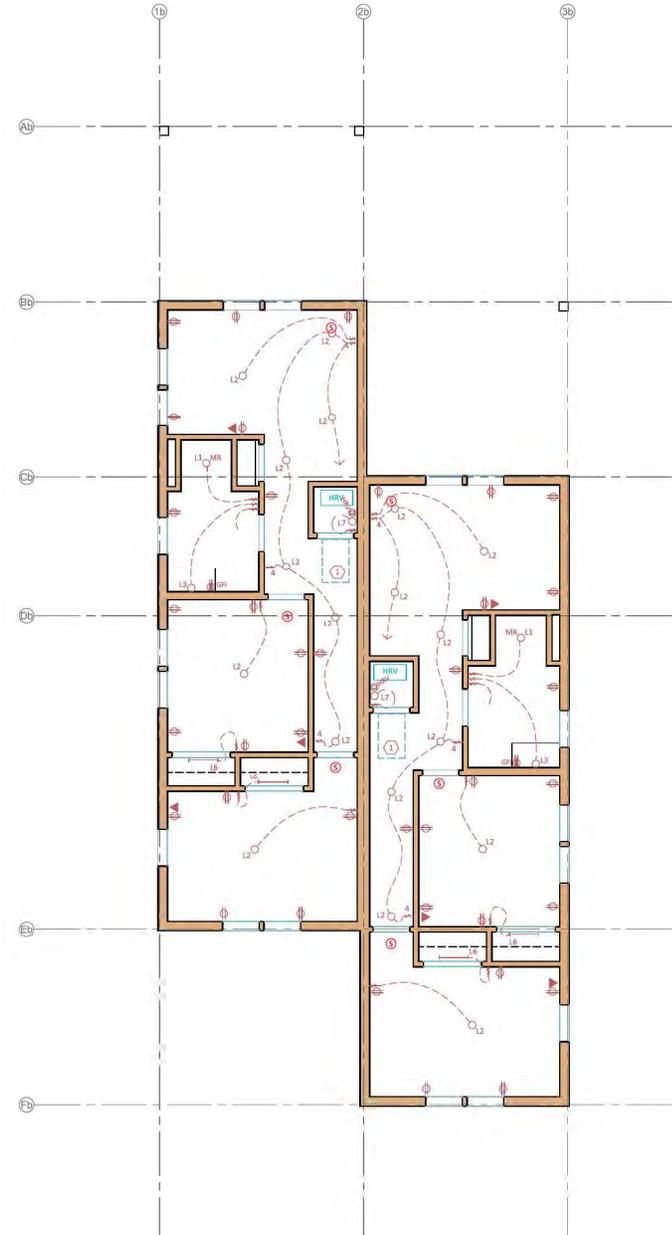
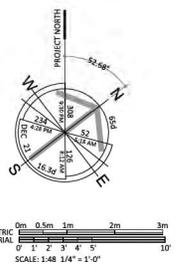
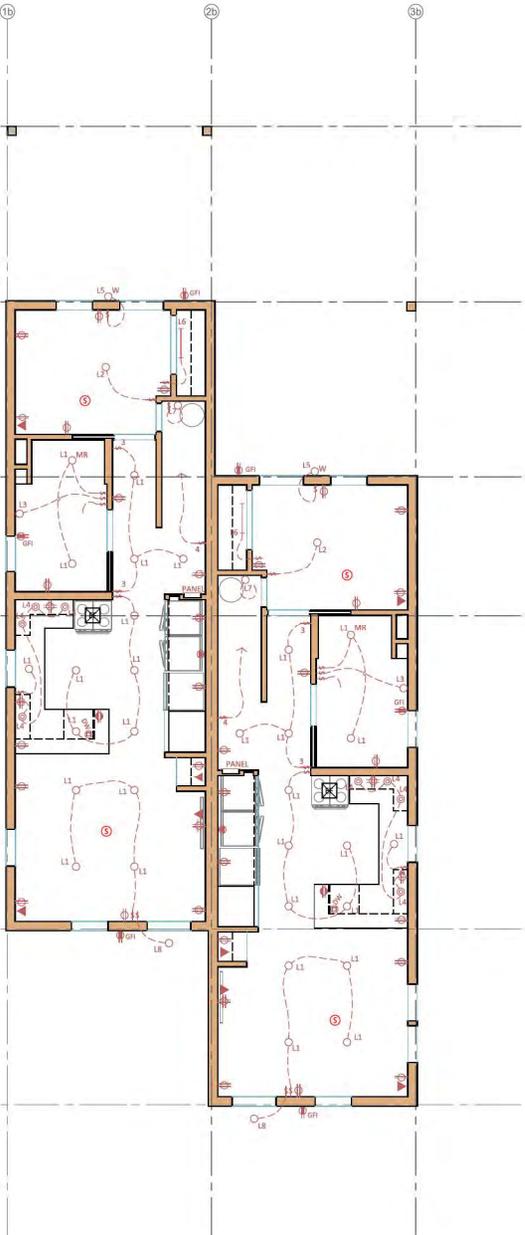
1. TERMINATE ALL BATHROOM AND KITCHEN SINK WASTE LINE PLUMBING TO 24" ABOVE FLOOR SHEATHING TO ALLOW FOR FUTURE COUNTERTOP LOWERING FOR ACCESSIBLE UNIT CONVERSION
- REFER TO SHEET A1.2 FOR TYPICAL WALL CALLOUT DESIGNATIONS

Lighting Plan Key Notes

- 1) 22"x36" INSULATED ATTIC ACCESS HATCH

Refer to Sheet A0.0 for Symbol Legend

BUILDING B



Hardware Groups

ALL HARDWARE MANUFACTURERS, MODELS, & STYLES PER OWNER SELECTIONS UNLESS NOTED OTHERWISE.

FOR PURPOSES OF BUDGETARY PRICING ASSUME BALDWIN, ASHLEY NORTON, ETTEN, OR EQUIVALENT PRODUCT QUALITY LEVELS AND FINISHES.

NOTE THAT NOT ALL OF THE HARDWARE GROUPS LISTED BELOW MAY BE PART OF THIS PROJECT'S SCOPE. REFER TO OPENING SCHEDULE FOR GROUPS SPECIFIED FOR THIS PROJECT.

- EXTERIOR DOOR WITH 4 HINGES, LOCKSET WITH THRU-BAR LATCH OPERATED DEAD BOLT AT INTERIOR SIDE AND KEYED FOR EXTERIOR ACCESS. DOOR GASKET SEAL, PERMO OR SIMILAR EXTENDED METAL THRESHOLD AND DOOR BOTTOM SHOE. PROVIDE PEMCO DOOR SILL RAIN DRIP AT DOORS EXPOSED TO DRIVING RAIN. BASE STOP AT INTERIOR BASEBOARD.
- SAME AS GROUP 1 BUT WITH NON-REMOVABLE HINGE PINS AND RELEASE SET SCREW ONLY ACCESSIBLE FROM THE INTERIOR.
- POCKET DOOR W/ OVERHEAD RAILS & GLIDES WITH LOCKING PRIVACY LATCH AND RECESSED PULLS ON INTERIOR AND EXTERIOR.
- SOLID CORE ACCESS PANEL DOOR IN CUSTOM SHAPE WITH 2 HINGES, DUMMY PULL ON EXTERIOR FACE AND ADJUSTABLE BALL CATCH SET INTO TOP OF DOOR PANEL.
- SLIDING DOORS WITH OVERHEAD RAILS & GLIDES WITH ROUND RECESS PULLS ON ROOM SIDE FACE.
- INTERIOR DOOR PAIR WITH 3 HINGES EACH LEAF. DUMMY PULLS ON EXTERIOR FACE AND ADJUSTABLE BALL CATCH SET INTO TOP OF DOOR PANELS.
- INTERIOR DOOR WITH 3 HINGES, PRIVACY LATCHSET, & BASE STOP.

Material Legend

- WOOD
- ALUMINUM
- CERAMIC TILE
- FIBERGLASS
- SHEET VINYL
- VINYL COMPOSITION TILE
- GLASS
- TEMPERED GLASS
- FIBERGLASS CLAD WOOD
- VINYL CLAD WOOD
- ALUMINUM CLAD WOOD
- METAL
- STONE
- CONCRETE
- BRICK
- CEMENT PAVERS
- GYPSSUM BOARD
- 1/2" GYPSSUM WALL BOARD
- CABRET OVER PAD
- ENGINEERED WOOD FLOORING
- VINYL COVE BASE

Finish Types

- A PAINT
- B STAIN
- C CLEAR SEALER
- D GALVANIZED
- UNFINISHED
- F FACTORY
- G POLISHED
- H HONED
- J FLAMED
- K ANODIZED
- L POWDER COATED
- M SMOOTH/POLISHED
- N CONCRETE-LIGHT BROOM
- O CONCRETE-MEDIUM BROOM
- P CONCRETE-HEAVY BROOM
- Q CONCRETE-EXPOSED AGGREGATE

Door & Opening Schedule

MARKING	DOOR TYPE	OPERATING TYPE	DOOR MTRL	FINISH	SIZE		THICKNESS	PANELS/LEAFS	GLAZED AREA (SF)	MAXIMUM UFACTOR	FRAME FINISH	RATING (MIN)	HWDG. GROUP	REMARKS			
					INDICATED IN FEET & INCHES (WITH HEIGHT)	INDICATED IN FEET & INCHES (WITH HEIGHT)											
A101	1	SWING	1	A	3-0 x 6-8	2	-	4.0	-	1	A	-	1	-	-		
A102	3	POCKET	1	A	2-10 x 6-8	1-3/4	-	-	-	1	A	-	3	-	-		
A103	5	POCKET	1	A	2-10 x 6-8	1-3/4	-	-	-	1	A	-	3	-	OMIT PRIVACY LATCH		
A104	7	SWING	1	A	2-0 x IRREG	1-3/4	-	-	-	1	A	-	4	-	-		
A105	3	SWING	1	A	2-0 x 6-8	1-3/4	YES	-	-	1	A	-	6	-	-		
A106	2	SWING	1	A	3-0 x 6-8	2	-	-	-	12.8	-	1	A	-	1	-	
A107	1	SWING	1	A	3-0 x 6-8	2	-	-	-	4.0	-	1	A	-	1	-	
A108	7	SWING	1	A	2-0 x IRREG	1-3/4	-	-	-	-	1	A	-	4	-	-	
A109	7	SWING	1	A	2-0 x IRREG	1-3/4	-	-	-	-	1	A	-	4	-	-	
A110	1	SWING	1	A	3-0 x 6-8	2	-	-	-	4.0	-	1	A	-	1	-	
A201	6	SWING	1	A	1-3 x 6-8	1-3/4	YES	-	-	-	1	A	-	6	-	-	
A202	3	SWING	1	A	2-6 x 6-8	1-3/4	-	-	-	-	1	A	-	7	-	OMIT BASE STOP	
A203	3	SWING	1	A	2-6 x 6-8	1-3/4	-	-	-	-	1	A	-	7	-	-	
A204	7	SWING	1	A	2-6 x TBD	1-3/4	-	-	-	-	1	A	-	4	-	WALL BUMPER STOP	
A205	3	SWING	1	A	2-6 x 6-8	1-3/4	-	-	-	-	1	A	-	7	-	-	
A206	3	SLIDING	1	A	2-0 x 6-8	1-3/4	YES	-	-	-	1	A	-	5	-	-	
A207	3	SLIDING	1	A	2-0 x 6-8	1-3/4	YES	-	-	-	1	A	-	5	-	-	
A208	3	SWING	1	A	2-0 x 6-8	1-3/4	YES	-	-	-	1	A	-	6	-	-	
A209	7	SWING	1	A	2-6 x TBD	1-3/4	-	-	-	-	1	A	-	4	-	-	
A210	3	SWING	1	A	2-6 x 6-8	1-3/4	-	-	-	-	1	A	-	7	-	-	
A211	3	SWING	1	A	2-6 x 6-8	1-3/4	-	-	-	-	1	A	-	7	-	OMIT BASE STOP	
A212	6	SWING	1	A	1-3 x 6-8	1-3/4	YES	-	-	-	1	A	-	6	-	-	
A213	6	SWING	1	A	1-3 x 6-8	1-3/4	YES	-	-	-	1	A	-	6	-	-	
A214	3	SWING	1	A	2-6 x 6-8	1-3/4	-	-	-	-	1	A	-	7	-	OMIT BASE STOP	
A215	3	SWING	1	A	2-6 x 6-8	1-3/4	-	-	-	-	1	A	-	7	-	-	
A216	7	SWING	1	A	2-6 x TBD	1-3/4	-	-	-	-	1	A	-	4	-	-	
A217	3	SWING	1	A	2-0 x 6-8	1-3/4	YES	-	-	-	1	A	-	6	-	-	
BUILDING A TOTAL DOOR GLAZING					33.6 SF (3.1 sm)												
B101	1	SWING	1	A	3-0 x 6-8	2	-	4.0	-	1	A	-	1	-	-	-	
B102	3	POCKET	1	A	2-10 x 6-8	1-3/4	-	-	-	-	1	A	-	3	-	-	
B103	5	POCKET	1	A	2-10 x 6-8	1-3/4	-	-	-	-	1	A	-	3	-	OMIT PRIVACY LATCH	
B104	7	SWING	1	A	2-0 x IRREG	1-3/4	-	-	-	-	1	A	-	4	-	-	
B105	3	SWING	1	A	2-0 x 6-8	1-3/4	YES	-	-	-	1	A	-	6	-	-	
B106	2	SWING	1	A	3-0 x 6-8	2	-	-	-	-	12.8	-	1	A	-	1	-
B107	1	SWING	1	A	3-0 x 6-8	2	-	-	-	-	12.8	-	1	A	-	1	-
B108	3	SWING	1	A	2-0 x 6-8	1-3/4	YES	-	-	-	1	A	-	6	-	-	
B109	7	SWING	1	A	2-0 x IRREG	1-3/4	-	-	-	-	1	A	-	4	-	-	
B110	5	POCKET	1	A	2-10 x 6-8	1-3/4	-	-	-	-	1	A	-	3	-	OMIT PRIVACY LATCH	
B111	3	POCKET	1	A	2-10 x 6-8	1-3/4	-	-	-	-	1	A	-	3	-	-	
B112	1	SWING	1	A	3-0 x 6-8	2	-	4.0	-	1	A	-	1	-	-	-	
B113	6	SWING	1	A	1-3 x 6-8	1-3/4	YES	-	-	-	1	A	-	6	-	-	
B114	3	SWING	1	A	2-6 x 6-8	1-3/4	-	-	-	-	1	A	-	7	-	OMIT BASE STOP	
B115	7	SWING	1	A	2-6 x TBD	1-3/4	-	-	-	-	1	A	-	4	-	WALL BUMPER STOP	
B116	3	SWING	1	A	2-6 x 6-8	1-3/4	-	-	-	-	1	A	-	7	-	-	
B117	3	SWING	1	A	2-6 x 6-8	1-3/4	-	-	-	-	1	A	-	7	-	-	
B118	3	SLIDING	1	A	2-0 x 6-8	1-3/4	YES	-	-	-	1	A	-	5	-	-	
B119	3	SLIDING	1	A	2-0 x 6-8	1-3/4	YES	-	-	-	1	A	-	5	-	-	
B120	3	SLIDING	1	A	2-0 x 6-8	1-3/4	YES	-	-	-	1	A	-	5	-	-	
B121	3	SLIDING	1	A	2-0 x 6-8	1-3/4	YES	-	-	-	1	A	-	7	-	-	
B122	3	SLIDING	1	A	2-0 x 6-8	1-3/4	YES	-	-	-	1	A	-	5	-	-	
B123	3	SLIDING	1	A	2-0 x 6-8	1-3/4	YES	-	-	-	1	A	-	5	-	-	
B124	7	SWING	1	A	2-6 x TBD	1-3/4	-	-	-	-	1	A	-	4	-	WALL BUMPER STOP	
B125	3	SWING	1	A	2-6 x 6-8	1-3/4	-	-	-	-	1	A	-	7	-	OMIT BASE STOP	
B126	6	SWING	1	A	1-3 x 6-8	1-3/4	YES	-	-	-	1	A	-	6	-	-	
BUILDING B TOTAL DOOR GLAZING					33.6 SF (3.1 sm)												

Typical Interior Materials & Finishes by Room Type

ROOM NAME	WALLS				FLOOR MATERIAL	FLOOR FINISH	BASE & TRIM	CABINETS & COUNTERS	CEILING	REMARKS
	NORTH	EAST	SOUTH	WEST						
ENTRY	P1-E	P1-E	P1-E	P1-E	6	F	1A	-	P1-F	-
LIVING ROOM	P1-E	P1-E	P1-E	P1-E	6	F	1A	-	P1-F	-
KITCHEN/LAUNDRY	P1-E	P1-E	P1-E	P1-E	6	F	1A	-	P1-F	-
STAIR	P1-E	P1-E	P1-E	P1-E	6	1C	1A	-	P1-F	PROVIDE 3M ANTI-SLIP SAFETY TAP STRIP TO TREAD
BATHROOM	P1-E	P1-E	P1-E	P1-E	6	F	1A	-	P1-F	PROVIDE 3M ANTI-SLIP SAFETY TAP STRIP TO TREAD
STUDY	P1-E	P1-E	P1-E	P1-E	6	F	21-F	-	P1-F	COVE BASE: ARMSTRONG #
CLOSET	P1-E	P1-E	P1-E	P1-E	6	F	1A	-	P1-F	CLOSET FLOOR MATERIAL SAME AS ROOM IT SERVES
HALL	P1-E	P1-E	P1-E	P1-E	6	F	1A	-	P1-F	-
LINEN	P1-E	P1-E	P1-E	P1-E	6	F	1A	-	P1-F	-
UNDER STAIR/LITILITY	P1-E	P1-E	P1-E	P1-E	6	F	1A	-	P1-F	-
BEDROOMS	P1-E	P1-E	P1-E	P1-E	19	F	1A	-	P1-F	-

Paint & Stain Products

REF#	FINISH	PRODUCT & COLOR
P1-E	EGGSHELL	BENJAMIN MOORE REGAL AQUAVILET LATEX COLOR®
P1-F	FLAT	BENJAMIN MOORE REGAL WALL STAIN LATEX COLOR
P1-S	SEMIGLOSS	BENJAMIN MOORE REGAL AQUAVILET LATEX COLOR®
P1-E	EGGSHELL	BENJAMIN MOORE REGAL AQUAVILET LATEX COLOR®
P2-F	FLAT	BENJAMIN MOORE REGAL WALL STAIN LATEX COLOR

Paint & Stain Products

REF#	FINISH	PRODUCT & COLOR
P2-5	SEMIGLOSS	BENJAMIN MOORE REGAL AQUAVILET LATEX COLOR®
P3-5	SEMIGLOSS	BENJAMIN MOORE REGAL AQUAVILET LATEX COLOR®
P4-5	SEMIGLOSS	BENJAMIN MOORE REGAL AQUAVILET LATEX COLOR®
P5-5	SEMIGLOSS	BENJAMIN MOORE REGAL AQUAVILET LATEX COLOR®
P6	CLEAR SEALER	WATERPROOFING SEALER WITH MILDREW RESISTANCE OLYMPIC STAIN "MAXIMUM"

Paint & Stain Products

REF#	FINISH	PRODUCT & COLOR
P-7	SEMI TRANS PARENT STAIN	SEMI-TRANSPARENT WOOD STAIN & SEALER OLYMPIC STAIN "ELITE" OR EQUIVALENT
P-8	SEMI-SOLID STAIN	SEMI-SOLID WOOD STAIN & SEALER OLYMPIC STAIN "ELITE" OR EQUIVALENT
P-9	SOLID STAIN	SOLID WOOD STAIN & SEALER OLYMPIC STAIN "ELITE" OR EQUIVALENT
P-10	EXTERIOR PAINT	EXTERIOR ACRYLIC LATEX HIGH BUILD, LOW LUSTRE FINISH BENJAMIN MOORE REGAL SELECT LOW LUSTRE 401
P-11	EXTERIOR PAINT	EXTERIOR ACRYLIC LATEX HIGH BUILD, LOW LUSTRE FINISH BENJAMIN MOORE REGAL SELECT LOW LUSTRE 401
P-12	EXTERIOR PAINT	EXTERIOR ACRYLIC LATEX HIGH BUILD, SOFT GLOSS FINISH BENJAMIN MOORE REGAL SELECT SOFT GLOSS 403

Window Schedule

NUMBER	TYPE	UNIT	UNIT SIZE (SQ FT)	UNIT VALUE	FRAME MATERIAL	FRAME FINISH	MAXIMUM UFACTOR	MINIMUM UFACTOR	RATING (MIN)	HWDG. GROUP	REMARKS	VERIFY ROUGH OPENING SIZES AS THEY MAY VARY BASED ON MANUFACTURER'S SPECS.	
												MINIMUM	MAXIMUM
A01	CASEMENT	2-6 x 4-6	1	9	F	1A	11.25	-	-	-	-	-	-
A02	FIXED	2-6 x 4-6	1	9	F	1A	11.25	-	-	-	-	-	-
A03	CASEMENT	2-6 x 3-6	1	9	F	1A	8.75	-	-	-	-	-	-
A04	CASEMENT	2-6 x 3-6	1	9	F	1A	8.75	-	-	-	-	-	-
A05	FIXED	2-6 x 4-6	1	9	F	1A	11.25	-	-	-	-	-	-
A06	CASEMENT	2-6 x 4-6	1	9	F	1A	11.25	-	-	-	-	-	-
A07	CASEMENT	2-6 x 4-6	1	9	F	1A	11.25	-	-	-	-	-	-
A08	-	-	-	-	-	-	-	-	-	-	-	-	-
A09	-	-	-	-	-	-	-	-	-	-	-	-	-
A10	CASEMENT	2-6 x 4-6	1	9	F	1A	11.25	-	-	-	-	-	-
A11	CASEMENT	2-6 x 4-6	1	9	F	1A	11.25	-	-	-	-	-	-
A12	CASEMENT	2-6 x 3-6	1	9	F	1A	8.75	-	-	-	-	-	-
A13	CASEMENT	2-0 x 3-6	1	9	F	1A	7.00	-	-	-	-	-	-
A14	CASEMENT	2-6 x 4-0	1	9	F	1A	10.00	-	-	-	-	-	-
A15	CASEMENT	2-6 x 4-0	1	9	F	1A	10.00	-	-	-	-	-	-
A16	-	-	-	-	-	-	-	-	-	-	-	-	-
A17	CASEMENT	2-6 x 4-0	1	9	F	1A	10.00	-	-	-	-	-	-
A18	FIXED	2-6 x 4-0	1	9	F	1A	10.00	-	-	-	-	-	-
A19	CASEMENT	2-6 x 4-0	1	9	F	1A	8.75	-	-	-	-	-	-
A20	CASEMENT	2-6 x 3-6	1	9	F	1A	8.75	-	-	-	-	-	-
A21	FIXED	2-6 x 4-0	1	9	F	1A	10.00	-	-	-	-	-	-
A22	CASEMENT	2-6 x 4-0	1	9	F	1A	10.00	-	-	-	-	-	EGRESS WINDOW
A23	CASEMENT	2-6 x 4-0	1	9	F								

LEVEL 1-A
ACCESSIBLE KITCHEN

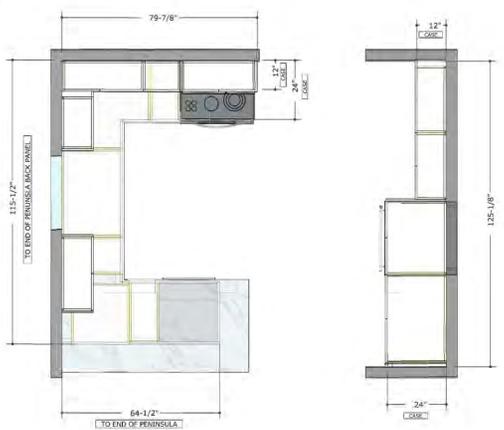
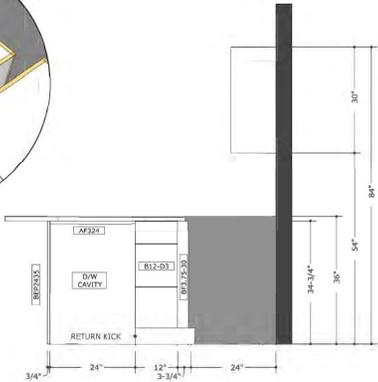
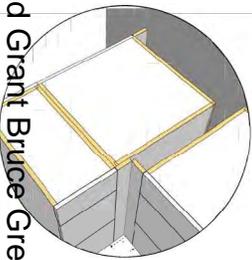
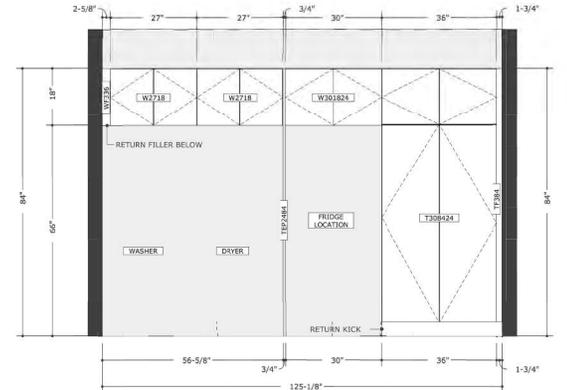
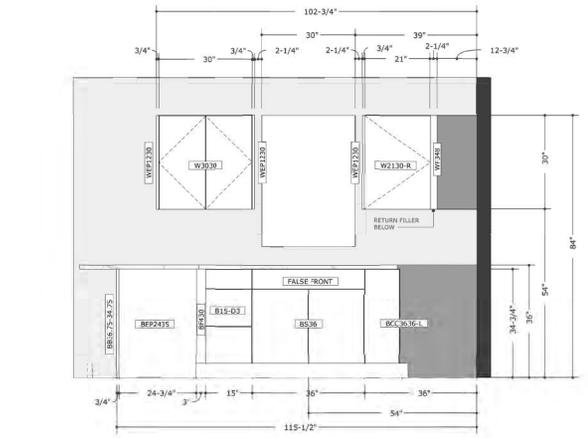
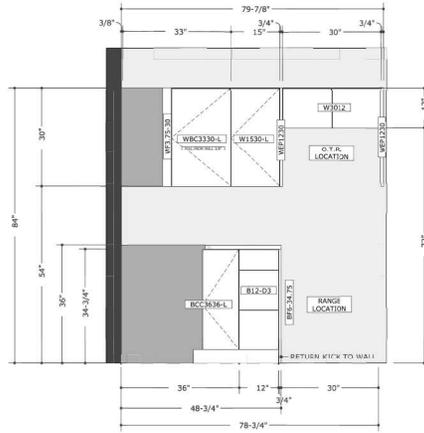
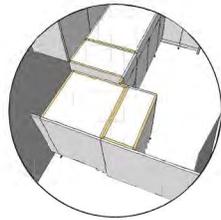
DOOR SPECIFICATIONS	
DOOR STYLE	SLAB
DOOR FINISH	1/2" F.E.T.
DOOR COLOUR - BASE	WHITE MATTE
DOOR COLOUR - WALL	WHITE MATTE
DOOR BACKS	WHITE MELAMINE
PANEL BACKS	WHITE MELAMINE

CASE SPECIFICATIONS	
CASE MATERIAL	3/4" WHITE MELAMINE
CASE EDGE/BANDING	1MM WHITE
DRAWER BOX	WHITE METAL DOUBLE WALL
CABINET ENDS	PLANT ON RAILS
CABINET FRONTING	WHITE MELAMINE
DRAWER HARDWARE	FULL EXT. SOFT CLOSE
DOOR HARDWARE	SOFT CLOSE
KICK SYSTEM	ADJUSTABLE LEGS

TRIM DETAILS	
TRIMMER STYLE POSITION	<input type="checkbox"/> CASE <input checked="" type="checkbox"/> DOOR
CABINET ENDS	<input checked="" type="checkbox"/> PANELS <input type="checkbox"/> NONE
TOP HOULDING STYLE	<input type="checkbox"/> RISER <input checked="" type="checkbox"/> NONE
TOP HOULDING POSITION	<input type="checkbox"/> CASE <input type="checkbox"/> DOOR

SECONDARY HARDWARE	
DRAWER RAILS	FINGER PULL
DOOR PULLS	FINGER PULL

ROOM SPECIFICATIONS	
CEILING HEIGHT	96" +/-
BASE CABINET HEIGHT	34 3/4"
WALL CABINET HEIGHT	<input checked="" type="checkbox"/> 30" <input type="checkbox"/> 36"



CASEWORK DRAWINGS BY OTHERS
INCLUDED FOR PROJECT SCOPE DEFINITION, BUDGETING, AND COORDINATION PURPOSES

USE THESE NOTES TO CHECK THE DIMENSIONS AGAINST THE SCALE IN PDF FORM. DO NOT VIEWING IS ALSO REPRODUCED TO SCALE. UNLESS OTHERWISE SPECIFIED SHOWN AS IS.

DRAWING ISSUE & REVISIONS

DATE	DESCRIPTION
04/20/20	INITIAL CONCEPT PLANS
05/05/20	CONCEPT DEVELOPMENT PROCESS PRINTING
05/20/20	PROCESS PRINTING
06/05/20	BUILDING PERMIT PROCESS PRINTING
06/20/20	BUILDING PERMIT PROCESS PRINTING
07/05/20	BUILDING PERMIT SUBMITTAL PRINTING



DAC ARCHITECTURE LLC
1800 PENINSULA ROAD
UCLUELET, BC V0R 3A0
250.869.0333

DISTRICT OF UCLUELET
200 MAIN STREET - PO BOX 988
UCLUELET, BC V0R 3A0

5-UNIT SUPPORTIVE HOUSING
1300 PENINSULA ROAD
UCLUELET, BC V0R 3A0

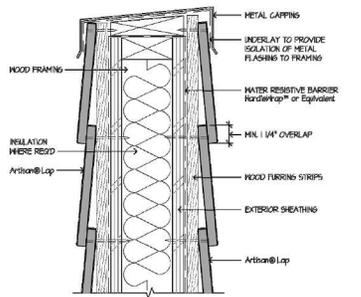
Permit Submittal Drawings

DRAWN BY	CHECKED BY
DAC	DAC

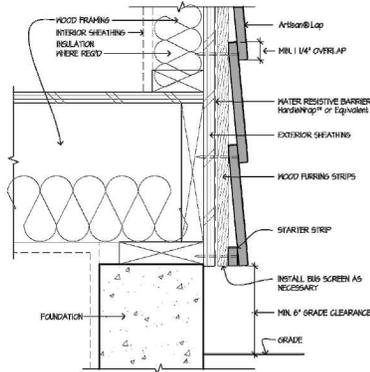
SCALE	NOT TO SCALE

SHEET TITLE	DATE
CASEWORK SHOP DRAWINGS	

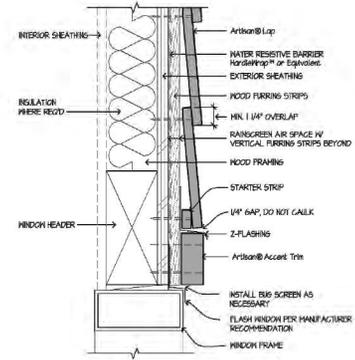
REV. NO.	DATE	DESCRIPTION
-		



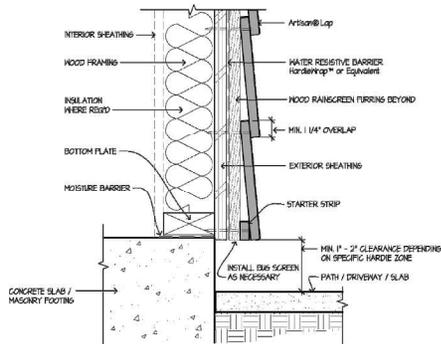
9 PARAPET - RAINSCREEN SCALE: 3/4\"/>



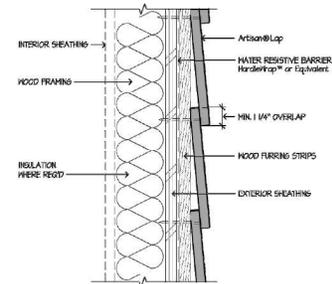
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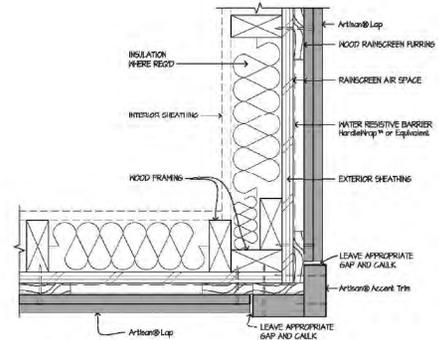
3 WINDOW/DOOR HEAD - RAINSCREEN SCALE: 3/4\"/>



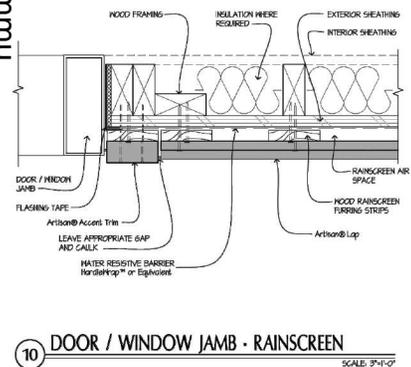
8 HARDSCAPE CLEARANCES, RAINSCREEN, DECKS, PORCHES, PATIOS, WALKWAYS, ROOFS, ETC. SCALE: 1/2\"/>



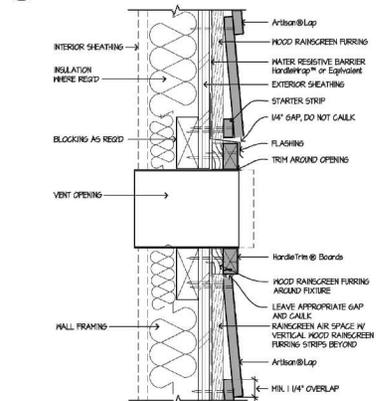
5 HORIZONTAL LAP VIEW - RAINSCREEN SCALE: 3/4\"/>



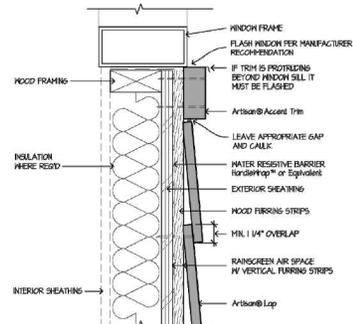
2 OUTSIDE CORNER - RAINSCREEN SCALE: 3/4\"/>



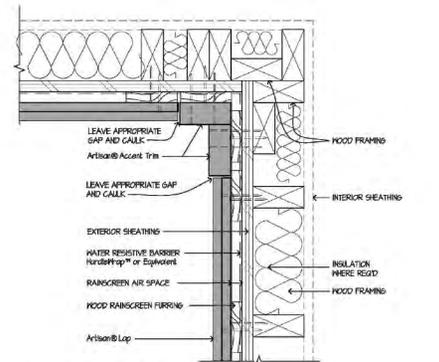
10 DOOR / WINDOW JAMB - RAINSCREEN SCALE: 3/4\"/>



7 FIXTURE PENETRATION - RAINSCREEN SCALE: 3/4\"/>



4 WINDOW SILL - RAINSCREEN SCALE: 3/4\"/>



1 INSIDE CORNER - RAINSCREEN SCALE: 3/4\"/>

UNLESS NOTED OTHERWISE, THE DIMENSIONS PERTAIN TO FACE UNLESS OTHERWISE SPECIFIED. ASSUME THE FILE OR IN COPY PRINT YOU ARE VIEWING IS AS PERMITTED TO SCALE. WRITTEN DIMENSIONS SUPERCEDE GRAPHIC SCALING.

DRAWING ISSUE & REVISIONS
DATE DESCRIPTION

DATE	DESCRIPTION

Bill
Doug
Bis
Allen
Cole
Architect
Architecture
Planning
Development
Construction
Management
SAC ARCHITECTURE, LLC
11007776 50th Street
LA Brea, California
92646-5200
909.223.1535
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Doug
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Development
Construction
Management
SAC ARCHITECTURE, LLC
11007776 50th Street
LA Brea, California
92646-5200
909.223.1535
909.223.1535

PROJECT
MANUFACTURERS
ENVELOPE
DETAILS
& GUIDELINES

DETAIL NOTES
Details shown do not necessarily reflect all applicable conditions relevant to this project. Refer to manufacturers website for additional project & installation guidelines.

DRAWN BY: DATE: SHEET TITLE: HARDIE ARTISAN@LAP SIDING ENVELOPE DETAILS

REVISION: SHEET: HAR. 74 of 117

PART 1 System Overview

1.1 INTRODUCTION

Majvest 500 SA is a vapor-permeable, 3-ply membrane, with the reverse face fully coated by a pressure-sensitive adhesive for direct bonding to substrates. The adhesive side of the sheet is protected by a white, tear-resistant, split-release liner which is removed during installation. Use the SIGA products below to achieve a resilient, above-grade exterior building envelope.

These guidelines will outline the materials and process required to achieve a long-lasting water-resistant WRB (WRB) and air barrier (AB) assembly in commercial buildings. Majvest 500 SA is designed to meet or exceed industry standards for a vapor-permeable WRB and AB as prescribed by IBC and IECC.

This document is intended to portray broad installation practices and detailing methods, for the guidance of contractors, specifiers, and other construction professionals. It is the responsibility of the Authority of Record to confirm or adapt these guidelines to support project-specific parameters and local code compliance. For procedures and conditions beyond the scope of this document, or for assistance with modifying specific details, please consult your local licensed design professional or SIGA representative.

Penetrations, windows, and other critical transitions may be detailed either before or after the Field WRB is applied (see application of WRB material). Use the Target (or Strip-In) Method when sealing these details before the Field WRB. Use the Cut-Out Method when installing the Field WRB before penetrations and other details.

COMPONENTS

Use the SIGA products below to complete a resilient, above-grade exterior building envelope. Additional product data can be found at the end of these Guidelines or at <https://siga.wiss>

- Majvest 500 SA self-adhered vapor-permeable water-resistant and air barrier membrane: 18" and 60" widths
- Wigluv 60 elastic, semi-permeable tape for sealing membrane overlaps and penetrations: 2.4" wide
- Majvest 100/150/230 low-profile, semi-permeable flashing for window and door installation: 4", 6", 9" widths
- Fenform 230 grey pre-finished, semi-permeable exterior tape for sealing windows and doors: 3", 4", 6" widths
- Fenform IS 20 pre-finished, fleece-backed interior tape for air sealing windows and doors: 3", 4", 6" widths
- Primer* bonding primer for concrete or porous substrates: 2.2 lb bottle

	Majvest 500 SA	Majvest 500 SA Detail Roll	Wigluv 60	Wigluv 100/150/230	Fenform 230 grey	Fenform IS 20
Field WRB	RECOMMENDED USAGE					
Pre-stripping						
Penetration Sealing						
Penetrations						
Penetrations (Interior Air-Sealing)						
Substrate Transitions						
Expansion Joint						
Damage Repairs to Air Barrier						
Reverse Laps						

SUBSTRATES WITH RECOMMENDED MINIMUM OVERLAP

	2"	2"	1"	1"	1"	1"
Plywood	2"	2"	1"	1"	1"	1"
Exterior Gypsum	2"	2"	1"	1"	1"	1"
OSB	2"	2"	1"	1"	1"	1"
Metal	2"	2"	1"	1"	1"	1"
Rigid Insulation XPS, EPS, PU	2"	2"	1"	1"	1"	1"
Concrete	4"	4"	2"	2"	2"	2"
Hard Plastics			1/2"	1/2"	1/2"	1/2"
Electric Cables			1/2"	1/2"	1/2"	1/2"
Majvest 500 SA	4"	4"	1"	1"	1"	1"

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PART 4 Installation Requirements

Installation practices for installing self-adhered membranes follow the familiar weather-lapping and durability basics of any water-shedding surface. Take advantage of the adhesive backing by using the following techniques, which increase overall speed and can enable single-worker application. The adhesive-layer of Majvest 500 SA is pressure sensitive, and all installed areas must be heavily burnished.

Tools Required

- SIGA Squeeze 12" w/ similar pressure application tool
- sharp razor knife
- tape measure
- pencil or chalkline

Overlap Requirements

- minimum vertical and horizontal overlap is 4" (see Figure 2)
- Majvest 500 SA is non-directional and may be installed horizontally or vertically
- all vertical overlaps shall be fully terminated using a continuous strip of Wigluv 60 or wider offset vertical joints (8" minimum) to avoid paths for moisture intrusion at tangential overlaps

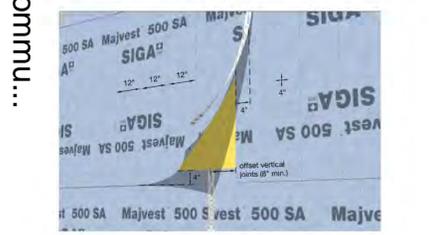


Figure 2

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1.3 USAGE & SUBSTRATE MATRIX

	Majvest 500 SA	Majvest 500 SA Detail Roll	Wigluv 60	Wigluv 100/150/230	Fenform 230 grey	Fenform IS 20
Field WRB	RECOMMENDED USAGE					
Pre-stripping						
Penetration Sealing						
Penetrations						
Penetrations (Interior Air-Sealing)						
Substrate Transitions						
Expansion Joint						
Damage Repairs to Air Barrier						
Reverse Laps						
SUBSTRATES WITH RECOMMENDED MINIMUM OVERLAP						
Plywood	2"	2"	1"	1"	1"	1"
Exterior Gypsum	2"	2"	1"	1"	1"	1"
OSB	2"	2"	1"	1"	1"	1"
Metal	2"	2"	1"	1"	1"	1"
Rigid Insulation XPS, EPS, PU	2"	2"	1"	1"	1"	1"
Concrete	4"	4"	2"	2"	2"	2"
Hard Plastics			1/2"	1/2"	1/2"	1/2"
Electric Cables			1/2"	1/2"	1/2"	1/2"
Majvest 500 SA	4"	4"	1"	1"	1"	1"

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PART 2 Air Barrier Design Considerations

Use of Majvest 500 SA membrane will support creation of a durable exterior air-barrier assembly, in addition to performing as a robust weather-resistant barrier. The continuous bonding of the membrane to the wall substrate offers significant advantages in reducing air and moisture movement behind the installed membrane, the importance of which is amplified in multi-story constructions.

Completing a whole-building air-tightness approach requires maintaining this continuous and sealed layer, as it transitions in, out, and around structural components, penetrations, and claddings (see Figure 1). Proper detailing, construction sequencing, and material selection are essential to achieving this additional air-tight attribute.

- 1) Parapet / Roof to Wall
- 2) Cladding attachments
- 3) WRB Overlaps
- 4) Changes in Substrate
- 5) Flashing Integration
- 6) Penetrations
- 7) Penetrations
- 8) Foundation to Wall

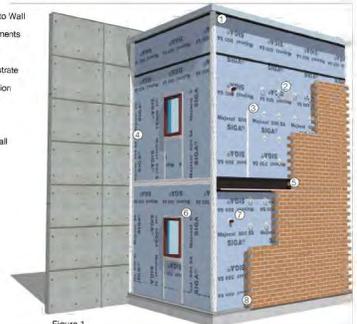


Figure 1

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PART 3 Work site Parameters

3.1 Preconstruction

Air-barrier continuity requires collaboration between everyone involved on the building project. For best results, convene a preconstruction meeting with all parties relevant to building envelope construction, before proceeding with WRB installation.

- Construct a project-specific markup to manage the constructability, compatibility, and sequencing of different materials and processes
- Full curing of all sealants and subsequent water intrusion and air-tightness testing is recommended
- Ensure that all building components e.g. windows, doors, penetrations, etc. are installed in accordance with the manufacturer's instructions

3.2 Substrate Preparation

Proper substrate preparation will help ensure reliable adhesion, which will maximise the air-barrier function of Majvest 500 SA.

- Substrate should be smooth, dry, and free of debris, frost, grease, contaminants and sharp edges
- Mechanical fasteners should be installed flush to the substrate surface
- Masonry joints should be struck flush
- Concrete must be cured 14 days before installing Majvest 500 SA
- voids over 1" should be filled and tooled flush, using compatible sealant or spray foam

3.3 Priming

Primer is not required for most common substrates. The usage of primer can depend on site-specific conditions. Installers may choose to reinforce highly porous, loose textured, or exposure-damaged surfaces with SIGA Dockskin penetrating primer.

- Conduct a pull-test on-site for any questionable conditions
- Re-coat any primed surfaces left exposed at the end of the working day before adhering Majvest 500 SA
- For further details, refer to Technical Bulletin KM10184 "Majvest 500 SA: Statements of Material Compatibility"

3.4 Site Conditions

- Install Majvest 500 SA in ambient temperatures of 14°F (10°C) and above
- Maximum UV exposure of installed Majvest 500 SA, per Climate Zone as defined by the IECC:
 - > Climate Zones 3 to 8: 6 months
 - > Climate Zones 1 and 2: 3 months
- Cover Majvest 500 SA as soon as practical after installation
- Do not install in rain or inclement weather, or when substrate is damp or frost-covered
- Protect in-progress installations from wet weather; refer to Section 4.4
- Avoid accumulation of dirt and debris onto facer during installation

3.5 Storage

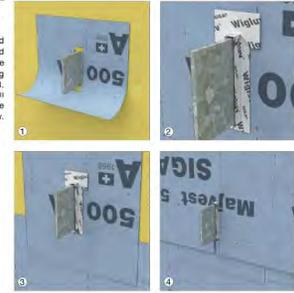
- Store Majvest 500 SA in original packaging in a cool, dry location
- Protect from UV exposure during storage
- No long-term storage limitations, when above conditions are maintained

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PART 5 Construction Details

5.1.1 Target Method Option

Penetrations may be detailed either before or after the Field WRB has been installed. Use the Target Method when sealing Penetrations before Field WRB. Target Method promotes a full drainage plane integration with the WRB course, as described below.



1. Cut a rectangular "Target" of Majvest 500 SA a minimum of 6" around entire penetration
 - 18" Detail Roll is recommended
 - cut an opening 1/2" larger than size of penetration, centered in the Target
 - remove backing material from upper portion only
 - apply to wall, leaving a flap of un-adhered material below the penetration
2. Seal penetration with Wigluv (steps not shown: see 5.1.2 or 5.1.3 for instructions)
3. Shingle lower course of Majvest 500 SA field membrane beneath
4. Install upper course of Majvest 500 SA field membrane:
 - create a u-shaped cutout around penetration
 - maintain required overlaps between sheets

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UNLESS NOTED OTHERWISE, THE DIMENSIONS LISTED IN THESE DETAILS SHALL BE IN INCHES. ASSUME THE FILED AND UNCOUPLED PARTS HAVE NOMINAL DIMENSIONS UNLESS OTHERWISE SPECIFIED. DIMENSIONS SUPERCEDE GRAPHIC SCALING.

DRAWING ISSUE & REVISIONS	
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MANUFACTURERS ENVELOPE DETAILS & GUIDELINES

Details shown do not necessarily reflect all applicable conditions relevant to this project. Refer to manufacturers website for additional project & installation guidelines

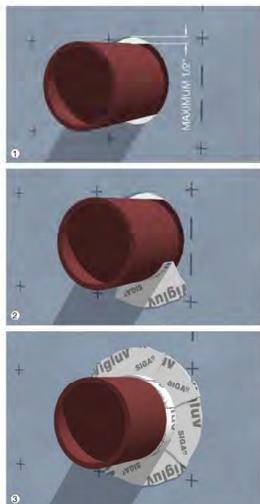
Appendix A

MANUFACTURERS ENVELOPE DETAILS & GUIDELINES

Penetrations

5.1.2 Round Penetrations

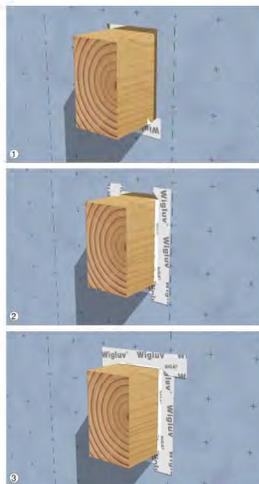
1. Trim Majvest 500 SA cleanly to penetration diameter
2. Apply gasket with short end of Wigluv in weatherlap fashion
3. Press on firmly



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5.1.3 Square Penetrations

1. Trim Majvest 500 SA 1/2" larger than the penetration and seal in weatherlap fashion, starting at the bottom edge
 - cut piece of Wigluv to extend 1" past left and right horizontal edge of penetration
 - fold Wigluv in half lengthwise and bond to penetration, then to Majvest 500 SA
 - make 45° cuts at each end, from the inside corner outward
 - press on firmly
2. Repeat for 2 vertical lengths of penetration
3. Repeat for horizontal top edge, extending minimum 1/4" wider than vertical pieces



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Penetrations

Fenestrations

5.2.1 WRB Preparation: Target Method

For installations where windows will be installed before the Field WRB, create a flashed "target" around the Rough Opening (RO) using Majvest 500 SA and Wigluv. The 18" Detail Roll is recommended for ease of use.

Sizing Requirements:
 - minimum width: RO depth + 9"
 - length: RO width + 12" (to extend 6" past each end)

1. Apply apron to sill and up onto jambs
 - remove upper release liner ONLY
 - center material left to right in RO
 - justify exposed factory edge to interior edge of framing and apply to sill
 - fit material tightly into corners and up 6" onto jambs
2. Fold apron down
 - make a relief cut downwards, flush along each jamb to corner
 - fold remaining "apron" over front edge of sill
 - DO NOT REMOVE LOWER RELEASE LINER
3. Terminate leading edge of apron on either side of RO using strips of Wigluv



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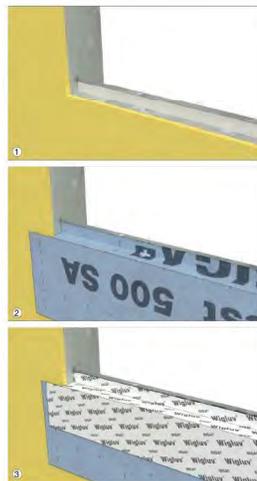
Fenestrations

Fenestrations

5.2.4 Back-dam Waterproofing

Sill drainage strategy will enhance the long-term durability of window installations, and may be mandated in certain jurisdictions. A rigid back-dam with flat sill and Wigluv-formed pan is illustrated here. For additional options, consult your local SIGA representative. Install Back-dam procedure in conjunction with Pre-Flashing sequence.

1. Fix back-dam material to sill per project specification (aluminum angle shown)
2. Cut out a notch at each end, and fold Majvest 500 SA up and over top back-dam material
3. Flash sill with Wigluv
 - length should extend 2" wider than each end of RO
 - cut out a notch at each end
 - fold Wigluv into RO, maintaining continuous contact with substrate while contouring over the top of back-dam



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Fenestrations

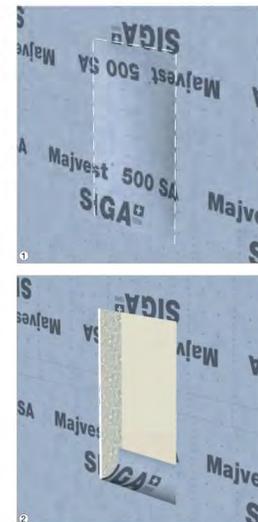
Fenestrations

Fenestrations

5.2.2 WRB Preparation: Cut-Out Method

For installations where the Field WRB will be installed before the Windows, Majvest 500 SA is applied directly over the Rough Opening (RO).

1. Cut out the RO
 - Make 3 flush cuts: along entire length of head and both jambs
2. Fold onto Sill
 - Crease flap of loose material along sill edge and into opening. Press on firmly and flush cut excess at interior edge of RO



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Fenestrations

Fenestrations

5.2.3 Pre-Flashing

1. Pre-flashing:
 - minimum coverage 3" onto exterior sheathing
 - edge into RO ≥ thickness of window penetration (Cut-Out Method shown)
2. Flashing:
 - cut to length: full width of sill +4" (to extend 2" past each end)
 - ease along split backing and remove one backing strip
 - center and apply to exterior face
 - ease along crease from each corner to end
 - remove second backing strip and fold into RO
 - work out from center, upturning excess at each end
 - press on firmly
3. Flash gussets:
 - gasket with Wigluv 100
 - cut to length: full depth of RO + 3"
 - ease along split backing
 - trim off 45° angle "dog-ear"
4. Flash gussets:
 - install crease into lower corners of RO
 - fold surplus onto exterior at a 45° angle
 - spread from center to reduce wrinkling
 - press on firmly



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Fenestrations

Fenestrations

Fenestrations

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MANUFACTURERS ENVELOPE DETAILS & GUIDELINES
 PROJECT:

Details shown do not necessarily reflect all applicable conditions relevant to this project. Refer to manufacturers website for additional project & installation guidelines.

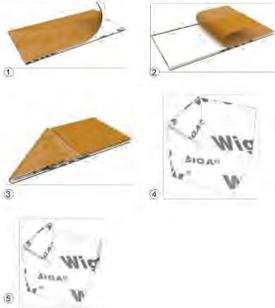
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 SCALE: []
 SHEET TITLE: []
 MANUFACTURERS ENVELOPE DETAILS & GUIDELINES

REV: [] SHEET: []
SM500

Fenestrations

5.2.5 Sill-Pan Boot Installation

1. Use Wigluv 100 to construct a dimensional, watertight inside sill pan.
2. Cut a 4" piece of Wigluv 100 and remove 2" of backing material along split backing crease.
3. Remove 2" of backing material at base.
4. Exposed adhesive at top of boot, so that the tape overlaps the backing crease.
5. Position the object and establish base position into corner using angle handle.
6. Move backing strips and press on firmly.
7. Top of boot to end-dam and fold excess Wigluv over back-dam.
8. Ensure triangle handle is covered by jamb flashing.



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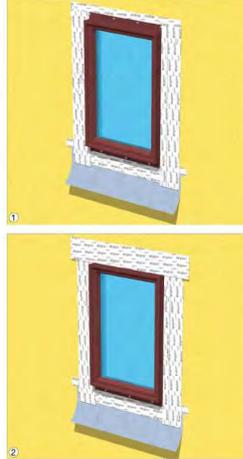
5.2.6 Window Installation: Flanged

Install window according to manufacturer's instructions before counterflashing.

Sizing Requirement:

- Wigluv 100 or wider to counter-flash nail flange

1. Counterflash jambs
 - cut Wigluv full length of flange +1" at both top and bottom
 - remove backing strips and press on firmly
 - **Do not tape bottom (sill) flange, to allow for drainage!
2. Counterflash head
 - cut Wigluv full span of jamb flashing +1" at each end
 - remove backing strips and press on firmly



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5.2.7 Window Installation: Non-Flanged

Use pre-folded Fentrim 230 grey as shown to create a water-shedding baffle or perimeter airtight seal if allowable by code.

Install window according to manufacturer's instructions. Shim to maintain consistent 1/2" insulation gap around entire perimeter.

1. Seal window jamb profiles
 - install Fentrim 230 grey along full length of jamb profile and extending +1" past top edge
 - do NOT cover joint at sill to allow for drainage, unless specified by manufacturer and allowable by code
 - make 45° relief cut from each upper corner and bond triangle flap to window
2. Seal window head profile
 - install Fentrim 230 grey along full length of head profile and extending +1" past each edge of jamb tape
 - repeat 45° relief cut from each upper corner. Bond triangle flap to window
3. How it should look

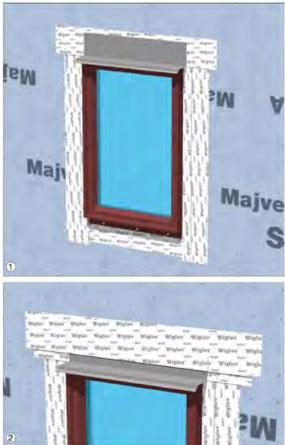


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Fenestrations

5.2.8 Post-Window WRB Integration: Cut-Out

1. Begin with fully-flashed window (see 5.2.6 or 5.2.7).
2. Install metal head flashing per project spec.
3. Seal entire leading edge of backing flashing and pre-flashing with Wigluv 100 or wider minimum overlap onto flashing is 1"



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Fenestrations

Field WRB Details

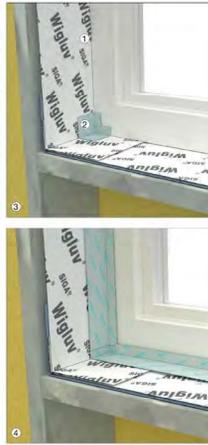
5.2.10 Interior Air-seal

Due to the necessity for bulk water drainage at the sill, the Air Barrier must transfer to the interior of the window component.

Alternate solutions are available depending on detailing of installation clips, finish trim or drywall reveal, cure time, and overall constructability. Consult a SIGA representative for project-specific guidance.

Before proceeding, windows should be installed and insulated per manufacturer's instructions, with exterior flashing applied.

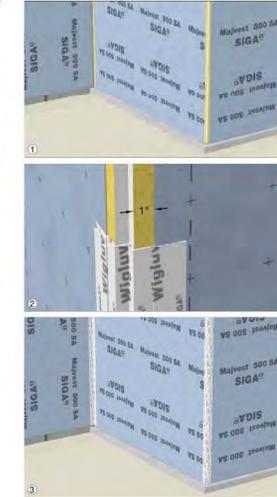
1. Ensure joint design will make continuous contact with a fully air-sealed RO
 - seal or fill any knockouts, knots or other holes in RO framing
 - entire depth of RO should be sealed at sill and all four corners (exception for Back-dam)
2. Seal straight lengths
 - bond first to window, then bridge to rough opening
 - maintain consistent 5/8" contact with window frame
 - repeat for jamb, sill, head
 - press on firmly
3. Prepare corner boot
 - cut a 3" length of Fentrim® IS 20
 - crosscut at the midpoint of the narrow, 5/8" pre-folded section
 - crease the center of the wide section and bond the two crosscut parts together, forming a boot
4. Seal all four corners
 - bond corner boot to window profile
 - remove backing strip
 - bond to rough opening
 - repeat at each corner



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5.3.1 Inside & Outside Corners

1. Install Majvest 500 SA at both sides of corner
 - terminate each course approx 1" from corner
 - knock down any sheathing edges of cut sheathing
2. Install strip of Wigluv 150 or wider in weatherlap fashion centered vertically on the corner
 - ensure full contact to all surfaces, contouring irregular cut edges if possible
 - center vertically on corner and overlap sheathing and Majvest 500 SA
3. How it should look



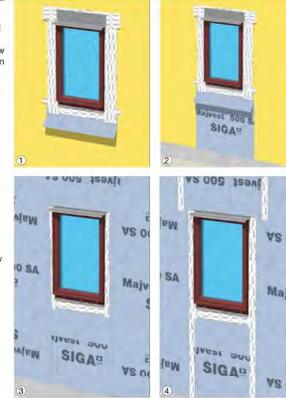
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Fenestrations

5.2.8 Post-Window WRB Integration: Target Method

Begin with fully-flashed window (see 5.2.6 or 5.2.7) with apron intact

1. Install metal head flashing per project spec
2. Extend the apron
 - install a section of Majvest 500 SA the same width as the apron, from the window sill down to the next lower course
 - remove backing strip and bond the overlap
 - press on firmly
3. Install surrounding Field WRB courses, providing 1" offset of Majvest 500 SA at jamba to allow for sealing vertical edge
4. Terminate vertical overlaps with Wigluv and press on firmly



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Field WRB Details

5.3.2 Through-Wall Flashing

1. Before shell angle installation, apply a course of impermeable self-adhered membrane (SAM, shown in black) onto slab edge, overlapping Majvest 500 SA course a leasture
2. Install shell angle and stainless steel drip edge
 - if shell angle is not hot-dipped galvanized, completely encapsulate with SAM
3. Install another course of SAM to bridge stainless steel drip edge, shell angle, slab edge, and upper wall sheathing
4. Lap upper Majvest 500 SA course over SAM and press on firmly



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MANUFACTURERS ENVELOPE DETAILS & GUIDELINES

DETAILS SHOWN DO NOT NECESSARILY REFLECT ALL APPLICABLE CONDITIONS RELEVANT TO THIS PROJECT. REFER TO MANUFACTURERS WEBSITE FOR ADDITIONAL PROJECT & INSTALLATION GUIDELINES.

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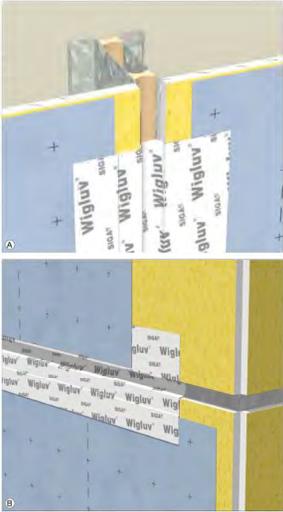
Field WRB Details

5.3.3 Expansion Joint - smaller

Install Field WRB by cutting within 1" of each side of expansion joint and bridge the spanning Wigluv 150 or wider.

A Vertical joints:
 1. Install Wigluv 150 or 230 to bridge the span and capture the edges of Majvest 500.
 2. Create a stress-relief loop joint.
 3. Apply centered along joint.

B Horizontal joints:
 1. Terminate lower course of Field WRB before installing new.
 2. Create a stress-relief loop joint.
 3. Ensure positive lapping of subsequent Field WRB members.



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Field WRB Details

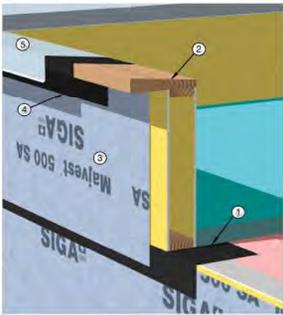
5.3.8 Parapet

1. Attach to framing parapet.
 2. Apply impermeable self-sheered membrane (SAM, shown in black) to protect interior air barrier (shown in pink), slab edge, and parapet.

3. Install parapet cap with a minimum 5% (9%) slope to exterior, flush with outside of cap and over SAM below.

4. Attach high-temperature rated SAM to encapsulate parapet cap and parapet roofing material (inside) and Majvest 500 SA (outside).

5. Install metal cap flashing per manufacturer's instructions.



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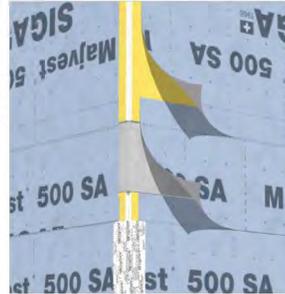
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Field WRB Details

Field WRB Details

5.3.4 Substrate Control Joint

- Install band of Majvest 500 SA or Wigluv to decouple Field WRB at moved substrates.
- For horizontal control joints, apply minimum 4" onto upper substrate.
- Maintain lapping requirements.



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5.3.5 Cladding Attachments: Brick Ties

Majvest 500 SA is an abrasion-resistant material with self-gasketing properties and treatment of fastener penetrations is not required in all cases. However, reinforcing the contact point of cladding attachments will enhance these characteristics, especially where mechanical strain is applied to the surface.

- Install Wigluv 100 or wider behind each anchor, on a 45° orientation.
- Fasteners should always be embedded into structural member.
- Ensure contact plate of brick tie is fully bounded within Wigluv patch area.



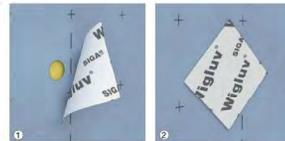
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Field WRB Details

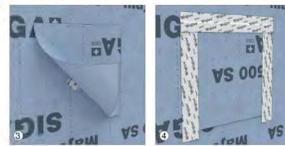
5.3.9 Damage Repair 1" or smaller

1. Apply Wigluv to face of Majvest 500 SA, centered over damage.
2. Utilize a 'diamond' orientation, to aid in water-shedding.



Larger than 1"

1. Apply Wigluv to face of Majvest 500 SA, centered over damage.
2. Utilize a 'diamond' orientation.
3. Cover entire damage patch with a skirt of Majvest 500 SA, sized minimum 2" larger than patch area.
4. Seal vertical edges and top edge with Wigluv.



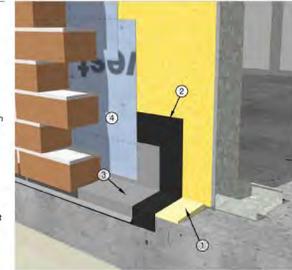
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33

Field WRB Details

5.3.6 Base of Wall with Brick Ledge

1. Install sloped mortar bed at concrete ledge.
 - minimum 3.5" (9%) slope
 - allow to cure
2. Apply impermeable self-adhered membrane (SAM, shown in black) onto sheathing, across mortar bed, and onto face of foundation (minimum 2" wide).
3. Install sheet metal flashing.
4. Install first course of Majvest 500 SA.
 - overlap both SAM and sheet metal flashing (minimum 2" wide, each)
 - establish starting height of cladding at minimum 6" above grade



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DRAWING ISSUE & REVISIONS

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DETAILS SHOWN DO NOT NECESSARILY REFLECT ALL APPLICABLE CONDITIONS RELEVANT TO THIS PROJECT. REFER TO MANUFACTURERS WEBSITE FOR ADDITIONAL PROJECT & INSTALLATION GUIDELINES.

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 SHEET: []
SM500

WOOD FRAME CONSTRUCTION

JEL-0222

1. ALL WOOD FRAMING, INCLUDING BRIDGING, NAILING AND OTHER DETAILS SHALL BE AS INDICATED ON THE STRUCTURAL DRAWINGS AND COMPLY WITH CAN/CSA-086-09 AND THE CURRENT BRITISH COLUMBIA BUILDING CODE.
2. ALL NAILS SHALL BE COMMON ROUND STEEL WIRE NAILS CONFORMING TO CSA B111-1974 (R2003).
3. WOOD SCREWS SHALL MEET THE REQUIREMENTS OF ASME B1.81-1981.
4. BOLTS SHALL HAVE PRE-DRILLED HOLES 1-2mm LARGER THAN THE BOLT DIAMETER.
5. LAG SCREWS SHALL CONFORM TO CSA B34-1987. PRE-DRILLED HOLES FOR LAG SCREWS MAY BE LUBRICATED WITH SOAP OR OTHER NON-PETROLEUM BASED LUBRICANT.
6. THE USE OF FINGER JOINTED WOOD SHALL BE RESTRICTED TO VERTICAL MEMBERS UNLESS PRIOR APPROVAL IS GIVEN BY THE ENGINEER OF RECORD.
7. SHEAR WALLS SHALL BE CONSTRUCTED AS DETAILED ON THE DRAWINGS. ALL COUPLERS FOR HOLD DOWN ROSS SHALL HAVE MIN 120% CAPACITY OF CONNECTING RODS AND SHALL HAVE "WIDENED" HOLES AS PER SIMPSON STRONG-TIE COW COUPLER NUTS OR EQUIVALENT.
8. FLOOR SHEATHING AND ROOF SHEATHING TO BE AS DETAILED ON THE DRAWINGS. PANEL EDGE NAILING PATTERN SHALL ALSO APPLY TO GABLE STRUTS AND DAIRHROOM EDGES.
9. THE FOLLOWING MINIMUM SHANK DIAMETERS SHALL APPLY TO NAILS SPECIFIED ON THE STRUCTURAL DRAWINGS. IN PARTICULAR SHEAR WALL SHEATHING, AND FLOOR AND ROOF DAIRHROOMS:

NAIL SIZE	MINIMUM SHANK DIAMETER
75mm (3")	3.66 mm (0.144")
50mm (2")	3.23 mm (0.128")
50mm (2")	2.64 mm (0.112")

10. DAIRHROOM AND SHEARWALL NAILS SHALL BE FULL HEADED NAILS.
 11. DAIRHROOM AND SHEARWALL NAILS SHALL NOT BE LESS THAN 10mm (3/8") FROM THE EDGE OF THE PANEL OR EDGE OF THE FRAMING MEMBER.
 12. DAIRHROOM AND SHEARWALL NAILING SHALL NOT BE OVER-DRIVEN BY MORE THAN THE FOLLOWING:
- | PANEL THICKNESS | OVER-DRIVE |
|-----------------|----------------|
| 9.5mm (3/8") | 1.4mm (0.056") |
| 12.5mm (1/2") | 1.9mm (0.075") |
| 15.0mm (5/8") | 2.4mm (0.094") |
| 19.0mm (3/4") | 2.9mm (0.113") |
13. ALL STRUCTURAL LUMBER SHALL COMPLY WITH CSA-D141-05 (R2009) AND SHALL BE KILN DRIED TO MAXIMUM 19% MOISTURE CONTENT PRIOR TO INSTALLATION.
 14. ALL WOOD FRAMING TO BE SPF#2 OR BETTER UNLESS NOTED OTHERWISE, BEARING THE GRADE STAMP OF AN AGENCY CERTIFIED BY THE CANADIAN LUMBER STANDARDS ACCREDITATION BOARD.
 15. PLYWOOD FOR ROOFS, FLOORS AND WALLS SHALL BE EXTERIOR GRADE DOUGLAS FIR PLYWOOD TO CSA-D121 OR CANADIAN SOFTWOOD PLYWOOD TO CSA-0313. OSB MAY BE SUBSTITUTED FOR PLYWOOD ON EXTERIOR SHEAR WALLS ONLY. OSB SHALL BE EXTERIOR GRADE CONFORMING TO CSA 0325-07 (R2012). SUBSTITUTION MUST BE APPROVED BY THE PROJECT ENGINEER IN WRITING.

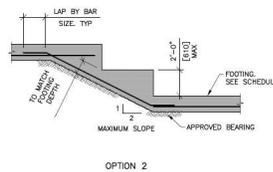
PLYWOOD THICKNESS	EQUIVALENT OSB MARK
3/4"	2R24
5/8"	2R32 /2F18 OR 1F16
3/4"	2R40 /2F20

16. PLYWOOD PANELS FOR FLOORS AND ROOFS SHALL BE LAID WITH A HALF-SHEET STAGGER AND BE FASTENED TO SUPPORTS WITH 65mm (2 1/2") COMMON NAILS AT 150mm (6") (6") ALONG PANEL EDGES AND 300mm (12") (2") 1/2" ALONG INTERMEDIATE SUPPORTS UNLESS NOTED OTHERWISE ON THE PLANS. THICKNESS AS NOTED ON THE DRAWINGS.
17. PLYWOOD PANELS FOR WALLS SHALL BE LAID WITH A HALF-SHEET STAGGER AND BE FASTENED TO SUPPORTS WITH 50mm (2") COMMON NAILS AT 75mm (3") (3") ALONG PANEL EDGES FOR BLOCKED EDGES, 150mm (6") (6") FOR UNBLOCKED EDGES, AND 300mm (12") (2") 1/2" ALONG INTERMEDIATE SUPPORTS UNLESS NOTED OTHERWISE ON THE PLANS. PLYWOOD THICKNESS AS NOTED ON THE DRAWINGS.
18. SHEARWALL PANELS SHALL NOT BE CLEFT IN PLACE UNLESS PRIOR APPROVAL IS RECEIVED FROM THE ENGINEER OF RECORD.
19. PLYWOOD FOR DAIRHROOMS AND SHEARWALLS SHALL HAVE A 2mm GAP BETWEEN PANELS.
20. EXTERIOR WALLS TALLER THAN 2400mm (8'-0") SHALL HAVE ALL PANEL EDGES BLOCKED WITH 38x89 (2x4) ON THE FLAT.
21. ACQ (AMINE COPPER QUAT) PRESURE TREATED WOOD SHALL BE USED WHERE SPECIFIED ON THE DRAWINGS, WHERE TIMBER COMES IN DIRECT CONTACT WITH CONCRETE OR MASONRY, AND WHERE IT IS EXPOSED TO THE WEATHER. CUT SURFACES OF TREATED TIMBER ARE TO RECEIVE A BRUSH APPLIED COAT OF COLOURED PRESERVATIVE. WORK SHALL BE IN ACCORDANCE WITH CSA-000 SERIES-06 "CCA" (CHROMIATED COPPER ARSENATE) IS NOT TO BE USED. TREATED WOOD PRODUCTS SHALL BEAR THE STAMP OF THE CANADIAN WOOD PRESERVERS BUREAU (CWPA).
22. FASTENERS FOR USE IN ACQ TREATED TIMBER SHALL BE HOT DIP GALVANIZED IN ACCORDANCE WITH ASTM A653. CONNECTORS SHALL HAVE A GIBB GALVANIZED DESIGNATION OR MEET ASTM A123. ALTERNATIVELY ALL METAL CONNECTORS INCLUDING NAILS, BOLTS, HANGERS, HOLD-DOWNS, STEEL STRAPS, POST BASES, ETC. SHALL BE STAINLESS STEEL TYPES 304 OR 316. REFER ALSO TO THE PRESERVATIVE MANUFACTURER'S WRITTEN RECOMMENDATIONS.
23. WALL STUDS SHALL NOT BE NOTCHED, DRILLED OR OTHERWISE DAMAGED SO THAT THE UNDAAGED PORTION OF THE STUD IS LESS THAN TWO-THIRDS OF THE DEPTH OF THE STUD IF THE STUD IS LOADBEARING OR 40mm (1 1/2") IF THE STUD IS NON-BEARING, UNLESS THE WEAKENED STUDS ARE SUITABLY REINFORCED. SUCH REINFORCEMENT SHALL BE APPROVED BY THE PROJECT ENGINEER PRIOR TO THE REINFORCING BEING CARRIED OUT.
24. TOP AND BOTTOM PLATES IN WALLS SHALL NOT BE NOTCHED, DRILLED OR OTHERWISE DAMAGED SO THAT THE UNDAAGED WIDTH IS LESS THAN 50mm (2"). UNLESS THE WEAKENED PLATES ARE SUITABLY REINFORCED. SUCH REINFORCEMENT SHALL BE APPROVED BY THE PROJECT ENGINEER PRIOR TO THE REINFORCING BEING CARRIED OUT. IF PLATES ARE TO BE USED AS BRACE STRUTS SEE DETAIL.
25. ALL POSTS, INCLUDING 2-PLY POSTS, ARE TO BE CARRIED DOWN TO BEARING AND SOLID BLOCKED AT EACH FLOOR LEVEL.
26. EXCEPT AT SHEARWALLS, ANCHOR BOLTS SHALL BE 16x200 LONG @ 1200w/c (5/8" x 48" @ 48" w/c) MAXIMUM LOCATE BOLTS WITHIN 300mm OF EACH WALL END AND EACH SIDE OF OPENING WHICH EXTEND TO THE TOP OF CONCRETE. REFER TO SHEARWALL SCHEDULE FOR SHEARWALL ANCHOR BOLTS.
27. ALL BOLTS USED IN WOOD FRAME CONSTRUCTION SHALL CONFORM TO ASTM A307 OR SAE J429 GRADE 2. TUBED ROD SHALL BE TO ASTM F1554 GRADE 36 (36 ksi YIELD STRENGTH). USE OF OTHER BOLTS MUST BE PRE-APPROVED BY THE ENGINEER OF RECORD.
28. ALL FRAMING ANCHORS SPECIFIED ON THE DRAWINGS ARE BY SIMPSON STRONG-TIE. ALTERNATES MUST BE PRE-APPROVED BY THE ENGINEER OF RECORD.

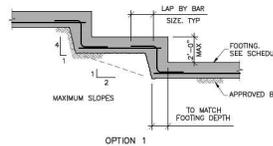
PRE-ENGINEERED WOOD JOISTS AND TRUSSES

JEL-0226

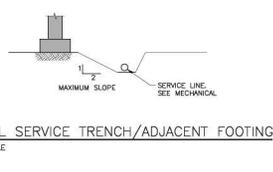
1. DESIGN OF PREFABRICATED JOISTS AND TRUSSES SHALL BE CARRIED OUT IN ACCORDANCE WITH CAN/CSA-086-09.
2. PREFABRICATED JOISTS SHALL MEET THE REQUIREMENTS OF AND BE DESIGNED TO ASTM D-5005-12. ADHESIVES USED IN THEIR MANUFACTURE SHALL MEET CSA D112.6 OR CSA 0112.7. ALTERNATE ADHESIVES MEETING CSA 0112.6 OR CSA 0112.7 MAY BE USED.
3. UNDER NO CIRCUMSTANCES SHALL FLANGES OF PREFABRICATED JOISTS BE NOTCHED OR CUT.
4. WEB OPENINGS, BEARING LENGTHS AND WEB STIFFENER REQUIREMENTS ARE THE RESPONSIBILITY OF THE MANUFACTURER.
5. FABRICATION OF PREFABRICATED JOISTS AND TRUSSES SHALL BE CARRIED OUT IN ACCORDANCE WITH CAN/CSA 3-086-09 AND THE RELEVANT SHOP DRAWINGS.
6. PREFABRICATED JOISTS AND TRUSSES SHALL BE TRANSPORTED, STORED AND ERECTED IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS IN SUCH A MANNER THAT BENDING, WARPING, AND OVERTURNING ARE PREVENTED.
7. TEMPORARY HORIZONTAL AND VERTICAL BRACING OF JOISTS AND TRUSSES SHALL BE IMPLEMENTED UNTIL PERMANENT BRACING AND DECKING ARE INSTALLED.
8. THE PREFABRICATED JOIST AND TRUSS MANUFACTURER SHALL ACCOMMODATE ALL OPENINGS IN ACCORDANCE WITH THE ARCHITECTURAL PLANS WITH APPROPRIATE GRIDDERS. PROVIDE FOR ALL ARCHITECTURAL, MECHANICAL AND ELECTRICAL EQUIPMENT SUPPORTED BY THE ROOF OR FLOORS. REFER TO THE DRAWINGS OF THESE DETAILS.
9. THE JOIST AND TRUSS MANUFACTURERS SHALL SUBMIT SHOP DRAWINGS AS SPECIFIED UNDER 'SUBMITTALS' TO THE PROJECT ENGINEER FOR REVIEW PRIOR TO FABRICATION. THE MANUFACTURER SHALL INSPECT THE ERECTED JOISTS AND/OR TRUSSES TO VERIFY CORRECT INSTALLATION AND PROVIDE THE STRUCTURAL ENGINEER WITH WRITTEN CONFIRMATION OF SUCH PRIOR TO THE STRUCTURAL ENGINEER CERTIFYING THE FRAMING AS BEING COMPLETE.
10. LATERAL SPLAY OF TRUSSES TO BE LIMITED TO 19mm (3/4") TOTAL FROM TRUE ALIGNMENT UNLESS NOTED OTHERWISE. LATERAL SPLAY OF JOISTS TO BE LIMITED TO 13mm (1/2") FROM TRUE ALIGNMENT.
11. DO NOT STACK PLYWOOD OR OTHER MATERIALS ON JOISTS OR TRUSSES BEFORE TEMPORARY BRACING OR SHEATHING HAS BEEN INSTALLED. UNDER NO CIRCUMSTANCES ARE APPLIED CONSTRUCTION LOADS TO EXCEED DESIGN LOADS.
12. LUMBER USED IN THE FABRICATION OF JOISTS AND TRUSSES IS TO BE SPF#2 OR BETTER COMPLYING WITH CAN/CSA-D141-05 (R2009) AND NLSA STANDARD RULES FOR CANADIAN LUMBER.
13. DO NOT CUT OR REMOVE JOIST OR TRUSS MATERIAL WITHOUT THE PRIOR WRITTEN APPROVAL OF THE SPECIALTY STRUCTURAL ENGINEER.
14. THE TRUSS MANUFACTURER SHALL PROVIDE FULL-HEIGHT BLOCKING BETWEEN TRUSSES AT ALL EXTERIOR WALLS AND OVER SHEAR WALLS PERPENDICULAR TO TRUSS RUNS. TRUSSES SHALL BE ALIGNED OVER SHEAR WALLS WHERE SHEAR WALLS RUN PARALLEL TO TRUSSES TO FACILITATE CONNECTION BETWEEN DAIRHROOM AND SHEAR WALL CHECK DRAWINGS FOR OTHER SIMILAR LOCATIONS.



TYPICAL SERVICE TRENCH/ADJACENT FOOTING
NOT TO SCALE



TYPICAL STEPPED FOOTING DETAIL
NOT TO SCALE

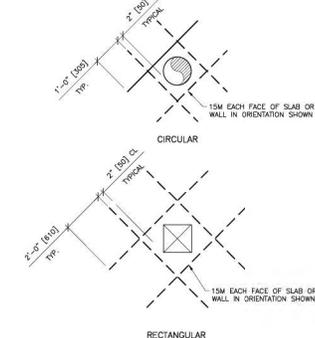


TYPICAL ADJACENT FOOTINGS
NOT TO SCALE

STRUCTURAL COMPOSITE LUMBER (SCL)

JEL-0228

1. ALL SCL MEMBERS SHALL BE DESIGNED AND MANUFACTURED TO ASTM D5456
2. LAMINATED VENEER LUMBER (LVL) AND PARALLEL STRAND LUMBER (PSL) SHALL CONFORM TO CAN/CSA-086.
3. THE MANUFACTURER SHALL SUBMIT SHOP DRAWINGS AS SPECIFIED UNDER 'SUBMITTALS' TO THE PROJECT ENGINEER FOR REVIEW PRIOR TO FABRICATION. THE MANUFACTURER SHALL INSPECT THE INSTALLED PRODUCT TO VERIFY CORRECT INSTALLATION AND PROVIDE THE STRUCTURAL ENGINEER WITH WRITTEN CONFIRMATION OF SUCH PRIOR TO THE STRUCTURAL ENGINEER CERTIFYING THE FRAMING AS BEING COMPLETE.
4. STRUCTURAL COMPOSITE LUMBER (SCL) MEMBERS SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS. MEMBERS SHALL BE PROTECTED FROM MOISTURE AS PER THE MANUFACTURER'S WRITTEN REQUIREMENTS WHEN STORED ON SITE AND AFTER INSTALLATION.
5. LVL MEMBERS SHALL BE GRADE 1.0E UNLESS NOTED OTHERWISE. BEAMS UP TO 3 PLY WIDE SHALL BE NAILED TOGETHER AND 4 PLY BEAMS BOLTED TOGETHER IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS.
6. PSL MEMBERS SHALL BE GRADE 2.0E UNLESS NOTED OTHERWISE.
7. DRILLING, NOTCHING AND CUTTING OF MEMBERS IS NOT PERMITTED UNLESS APPROVED BY THE PROJECT ENGINEER. SUCH APPROVAL SHOULD BE REQUESTED WITH THE SHOP DRAWING SUBMISSION.
8. SUPPLIERS OF FRAMING MATERIALS USING SYSTEMS NOT CALLED FOR ON THE STRUCTURAL DRAWINGS SHALL REFER APPROVAL FROM THE STRUCTURAL ENGINEER PRIOR TO START OF PRODUCTION. THE APPLICATION SHALL INCLUDE THE PRODUCTS TECHNICAL LITERATURE WHICH SHALL BE SUFFICIENT FOR THE ENGINEER TO DETERMINE THE SYSTEM AND PRODUCT SUITABILITY ON THE PROJECT.

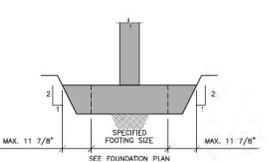


TYPICAL REINFORCING AROUND OPENINGS
NOT TO SCALE

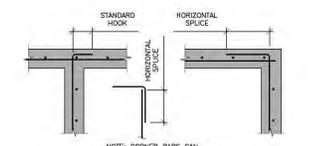
MECHANICAL AND ADHESIVE ANCHORS

JEL-0231

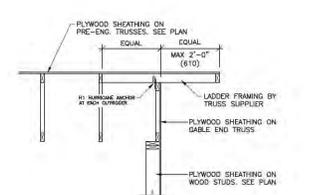
1. ALL ANCHORS ARE TO BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS.
 2. ALL ANCHORS ARE TO BE THE ADHESIVE TYPE. MECHANICAL ANCHORS ARE ONLY TO BE USED WHEN SPECIFICALLY CALLED-UP ON THE DRAWINGS. SUBSTITUTIONS MUST BE APPROVED BY THE PROJECT ENGINEER PRIOR TO USE.
 3. UNLESS NOTED OTHERWISE ADHESIVE ANCHORS SHALL BE HILTI 'HAS-E' OR 'HIT-Z' ROD. REFER TO DRAWINGS FOR ANCHOR LOCATIONS, SIZES, CENTRES AND EMBEDMENT LENGTH.
- USE HILTI HIT RESO-3 WHEN:
 - ADHESIVE IS APPLIED.
 - CONDITIONS ARE DRY.
 - HOLES ARE HAMMER DRILLED.
 - HOLES ARE NOT OVER-SIZED.
 - BASE MATERIAL TEMPERATURE IS ABOVE MINUS 10 CELSIUS.
- USE HILTI HIT RESO-V3 WHEN:
 - EXTENDED WORKING TIME IS REQUIRED AND CURT TIME IS NOT CRITICAL.
 - HOLES ARE DRILLED USING DIAMOND CORE, PNEUMATIC OR HAMMER DRILLS.
 - EMBEDMENT IS SPECIFIED.
 - THE APPLICATION IS UNDERWATER, OR
 - HOLES ARE OVERSIZED.
4. REFER TO DRAWINGS FOR MECHANICAL ANCHOR LOCATIONS, SIZES, CENTRES AND EMBEDMENT LENGTH.
 5. HOLES FOR MECHANICAL ANCHORS SHALL BE CLEANED OUT WITH HIGH PRESSURE AIR OR BRUSH PRIOR TO ANCHOR INSTALLATION.
 6. INSTALLERS OF HILTI PRODUCTS SHALL HAVE RECEIVED TRAINING BY HILTI (CANADA) CORP. IN THE USE OF THE SPECIFIED PRODUCTS. THE GENERAL CONTRACTOR SHALL PROVIDE THE DESIGN ENGINEER WITH A LETTER STATING THAT THIS TRAINING HAS BEEN COMPLETED.



TYPICAL FORMLESS FOOTING DETAIL
NOT TO SCALE



TYPICAL WALL REINFORCING AT CORNERS
NOT TO SCALE



TYPICAL GABLE OVERHANG DETAIL
NOT TO SCALE

ISSUES

DATE	ISSUED FOR
01/2023/08/21	BUILDING PERMIT

SUB CONSULTANT

5 UNIT SUPPORT HOUSING - DISTRICT OF UCLUELET
 1300 PENINSULA ROAD - UCLUELET, BC
 SALTWATER BUILDERS CO.

HEROLD ENGINEERING

3701 Shelton Rd, Nanaimo, BC V9T 2H1
 Tel: 250-751-8558 Fax: 250-751-8559
 Email: mol@heroldengineering.com

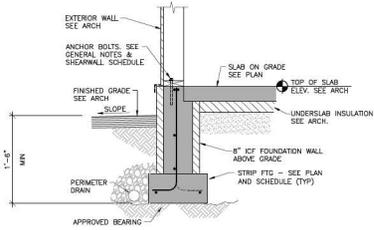
Herold Engineering The drawing requires the inclusion of a professional Engineer's Stamp and the registration number of the Engineer. The drawing is not valid for construction without either consent of Herold Engineering Limited or the Engineer's Stamp.

GENERAL NOTES SHEET 2 AND TYPICAL DETAIL

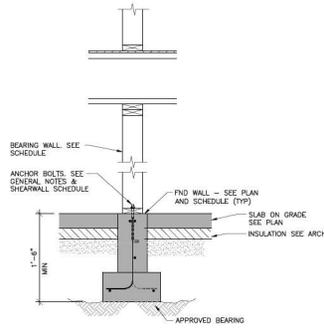
PERMIT TO FRAME NO. 1000201

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DRAWN: [Stamp]	CLIENT: [Stamp]
DRAFTED: JD	SCALE: 1/8" = 1'-0"
DRAFTING REVIEW: [Stamp]	PERMIT NO: n/s
PROJECT NO: 5785-003	REVISION: 01
SCALE: AS SHOWN	

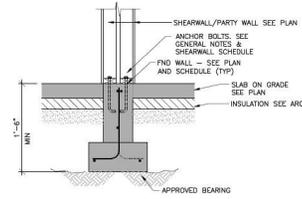
Appendix 78 of 117



TYPICAL EXTERIOR WALL/FOUNDATION DETAIL
SCALE 3/4"=1'-0"



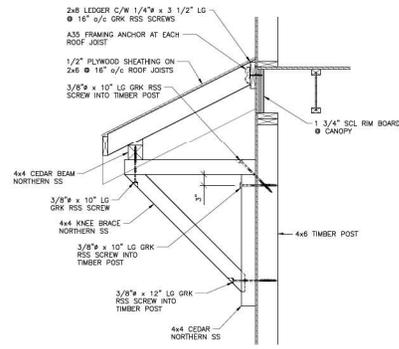
TYPICAL INTERIOR BEARING WALL/FOUNDATION DETAIL
SCALE 3/4"=1'-0"



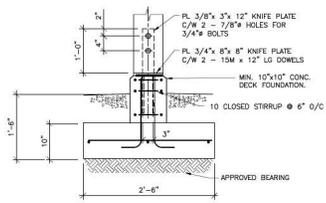
TYPICAL PART WALL/FOUNDATION DETAIL
SCALE 3/4"=1'-0"

ISSUES		
NO.	DATE	ISSUED FOR
01	2023.08.21	BUILDING PERMIT

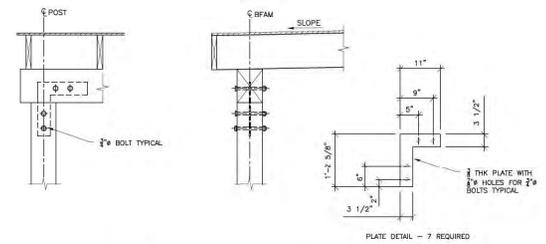
SUB CONSULTANT



COVERED ENTRY DETAIL
SCALE 3/4"=1'-0"



EXTERIOR PAD FOOTING/POST CONNECTION
SCALE 3/4"=1'-0"



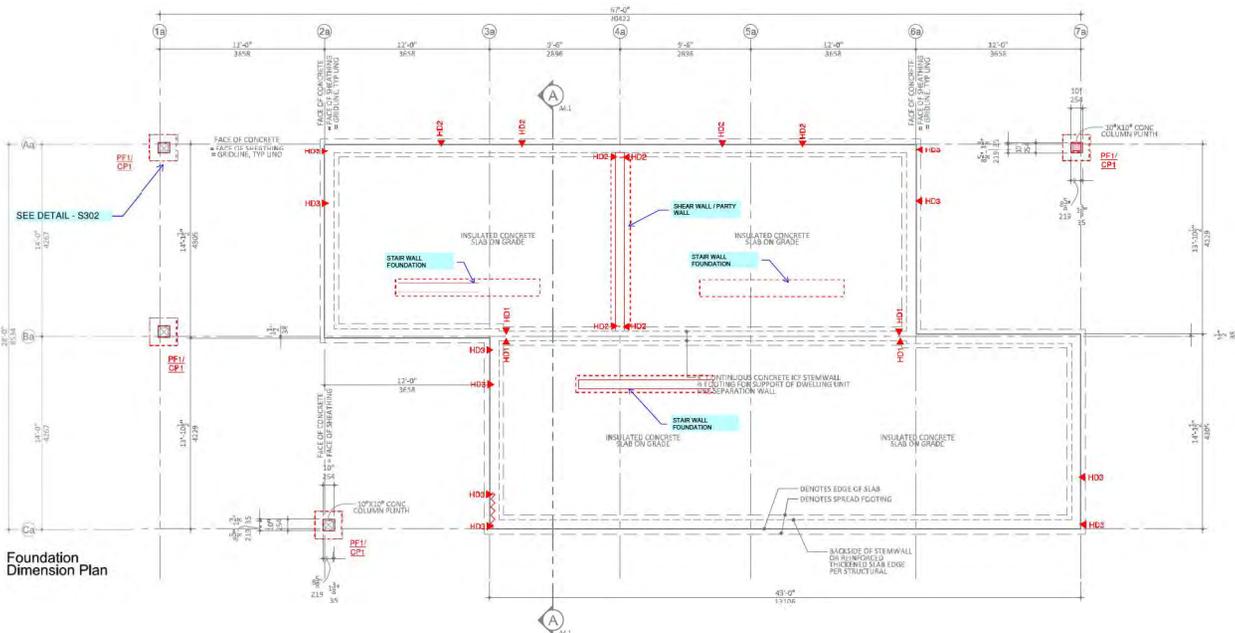
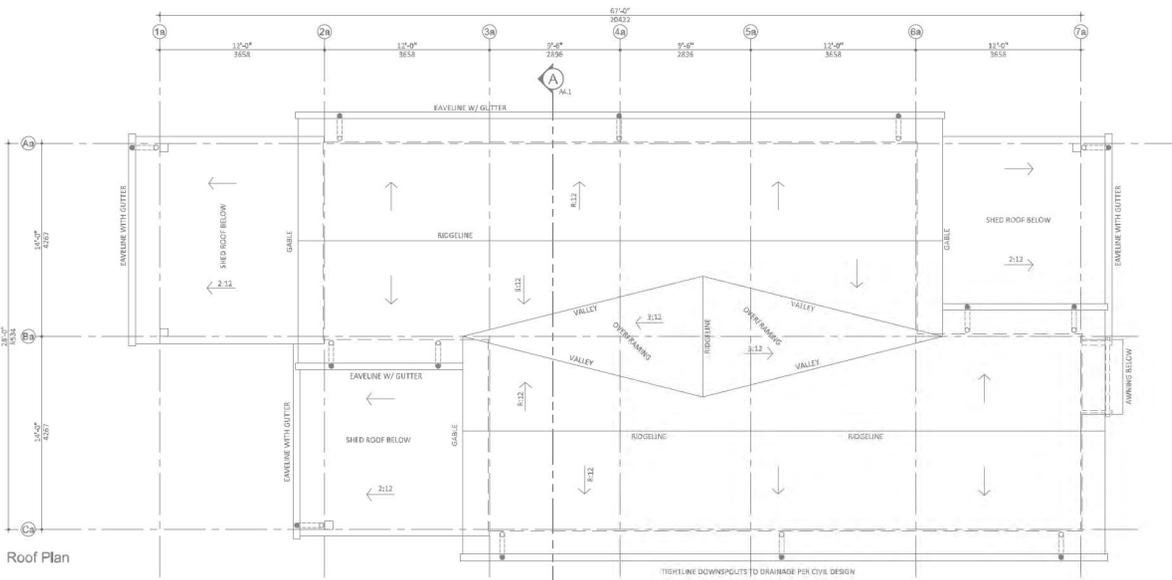
EXTERIOR POST BEAM CONNECTION
SCALE 3/4"=1'-0"

5 UNIT SUPPORTIVE HOUSING - DISTRICT OF UCLUELET
1300 PENINSULA ROAD - UCLUELET, BC
SALTWATER BUILDERS CO.

HEROLD ENGINEERING
3701 Shelton Rd, Nanaimo, BC V8T 2H1
Tel: 250-751-8558 Fax: 250-751-8559
Email: mol@heroldengineering.com

SECTIONS AND DETAILS	
PERMIT TO PRACTICE 1006201	
DESIGNED: JD	ENGINEER: [Signature]
DESIGN REVIEW: [Signature]	
DRAFTED: JD	
DRAFTING REVIEW: [Signature]	
PROJECT NO. 5785-003	CLIENT EIR: n/s
SCALE: AS SHOWN	PERMIT NO.: n/s
REL DRAWING NO. S302	REVISION: 01

DESTROY ALL DRAWINGS SHOWING PREVIOUS EDITION.



General Notes

1. TERMINATE ALL BATHROOM AND KITCHEN SINK WASTE LINE PLUMBING TO 24" ABOVE FLOOR SLABINGS TO ALLOW FOR FUTURE COUNTERTOP LOWERING FOR ACCESSIBLE UNIT CONVERSION

Key Notes

- ① X X

HOLD-DOWN/STRAP SCHEDULE

- HD1 - SIMPSON STDH10 (C/W 2 STUDS)
- HD2 - SIMPSON STDH14 (C/W 2 STUDS)
- HD3 - HD08 - 7/8" DIA. ANCHOR ROD MIN .24" EMBED (C/W 3 STUDS) ROD MIN. 24" EMBED
- ST1 - MSTC52 (C/W 2 STUDS)
- ST2 - MSTC66 (C/W 3 STUDS)

*NOTE: ALL HOLDDOWNS WITH ANCHOR RODS TO BE INSTALLED C/W ZONE STEEL, SEE STRUCT TYPICAL DETAILS

CONC. WALL SCHEDULE

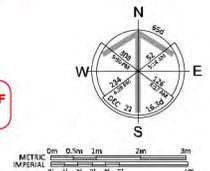
- CW1 - 8" THK. R/W 15M @ 18" O/C E/W
- SE1 - 16" x 8" CONC. STRIP FTNG R/W 2-15M CONT. BOT.
- PF1/CP1 - 10" x 10" CONC. COLUMN R/W 4-15M VERTS, 10M CLOSED TIES 3 @ 3" O/C TOP, 12" O/C ELSE. ON 2'-6" x 2'-6" x 10" CONC FTNG R/W 3-15M BOT.

*NOTE: ALL CONC WALLS ARE CW1 ON SF1 U.N.O.



H.E.L. PROJECT #5765-003

NOT FOR CONSTRUCTION
APPROVED FOR ADEQUACY OF STRUCTURAL DESIGN ONLY



BUILDING A

BASED UPON THE 2018 BC BUILDING ACT AND REGULATIONS. THE DRAWING IS FOR INFORMATION ONLY AND IS NOT TO BE USED FOR CONSTRUCTION. THE DRAWING IS NOT TO BE USED FOR CONSTRUCTION. THE DRAWING IS NOT TO BE USED FOR CONSTRUCTION.

DATE	DESCRIPTION



District of Ucluelet
 200 MAIN STREET - PO BOX 999
 UCLUELET, BC V8L 2R6

DISTRICT OF UCLUELET
 200 MAIN STREET - PO BOX 999
 UCLUELET, BC V8L 2R6

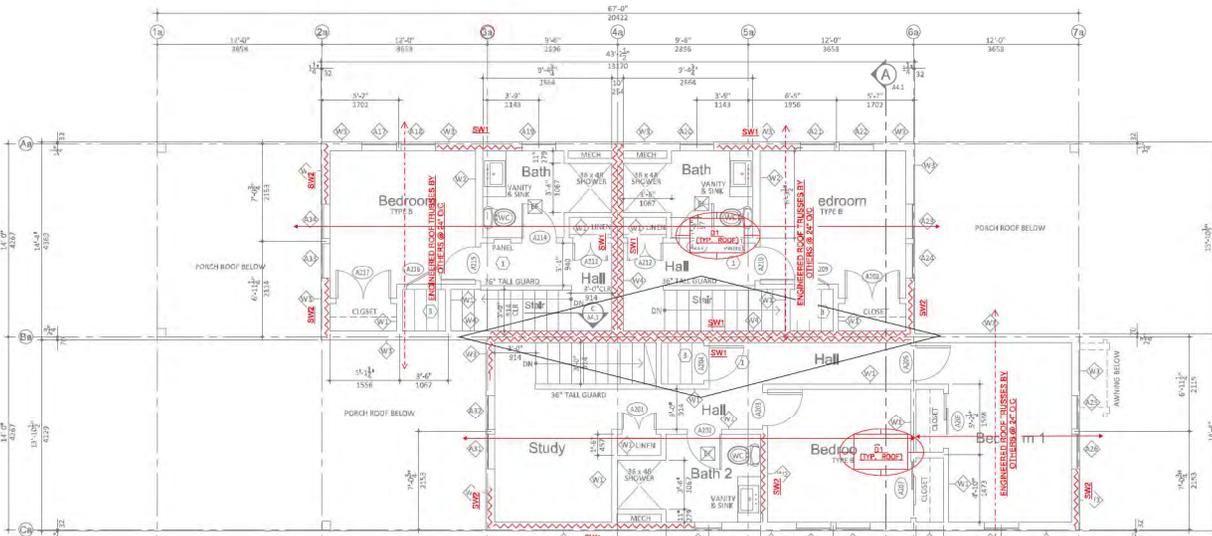
5-UNIT SUPPORTIVE HOUSING
 1300 PENINSULA ROAD
 UCLUELET, BC V8L 3A0

- Preliminary -
 Not For Construction

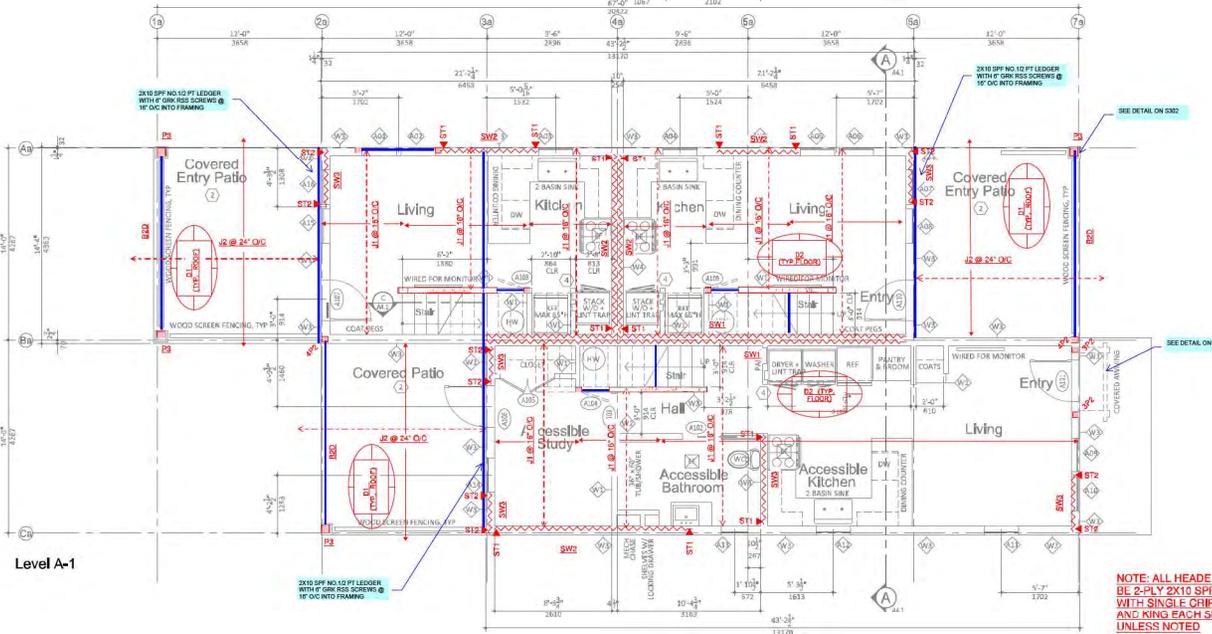
DRAWING	DATE	BY	CHECKED
DAC			

BUILDING A FOUNDATION DIMENSION & ROOF PLANS

A2.1



Level A-1



Level A-1

General Notes

1. TERMINATE ALL BATHROOM AND KITCHEN SINK WASTE LINE PLUMBING TO 6" ABOVE FLOOR SHEATHING TO ALLOW FOR FUTURE COUNTERTOP LOWERING FOR ACCESSIBLE UNIT CONVERSION

Floor Plan Key Notes

1. 22"x48" INSULATED ATTIC ACCESS HATCH
2. SLOPE PATIO SLAB AWAY FROM BUILDING FACE AT 1/4" PER FOOT TO GRATED METAL TRENCH DRAIN
3. HW UNIT ON RAMP'S PLATFORM TO MAINTAIN MINIMUM HEADROOM CLEARANCE OF 7' ABOVE CLOSET TREAD DIRECTLY BELOW
4. PROVIDE WATER ONLY ONE VALVE AND DRAIN SINKS: STACK WASHER DRYER, LOCATE SUCH THAT WATER CAN BE SHUT OFF WITHOUT HAVING TO RULL THE STACK UNITS INTO THE ROOM

BEAM SCHEDULE

- B1 - 2X10 SPF NO.1/2
- B2 - 8'-0" x 8'-0" SGLUM DFR-L 204-E STRESS GRADE - EXTERIOR EXPOSURE
- B3 - 11'-0" x 8'-0" (2X SGLUM) BY OTHERS
- B4 - 2X10 SPF NO.1/2

POST SCHEDULE

- P1 - 2X4 SPF NO.1/2
- P2 - 2X4 SPF NO.1/2
- P3 - 4'-0" x 4'-0" SGLUM DFR-L 160-E EXTERIOR EXPOSURE

BEARWALL SCHEDULE (BIDDING)

- SW1 - 1/2" PLYWOOD SHEATHING NAILED WITH 2.5" NAILS @ 8" o/c AT PANEL EDGES AND @ 12" o/c INTO INTERMEDIATE FRAMING MEMBERS, ASS'G @ 32" o/c, 5/8" DIA. ANCHOR BOLTS @ 32" o/c
- SW2 - 1/2" PLYWOOD SHEATHING NAILED WITH 2.5" NAILS @ 4" o/c AT PANEL EDGES AND @ 12" o/c INTO INTERMEDIATE FRAMING MEMBERS, ASS'G @ 16" o/c, 5/16" DIA. GRCS @ 24" O/C, 5/8" DIA. ANCHOR BOLTS @ 24" o/c
- SW3 - 1/2" PLYWOOD SHEATHING NAILED WITH 2.5" NAILS @ 2" o/c AT PANEL EDGES AND @ 12" o/c INTO INTERMEDIATE FRAMING MEMBERS, ASS'G @ 8" o/c, 5/16" DIA. GRCS @ 8" o/c, 5/8" DIA. ANCHOR BOLTS @ 8" o/c

DIAPHRAGM SCHEDULE

- D1 - 5/8" PLYWOOD SHEATHING NAILED WITH 2.5" NAILS @ 6" o/c AT PANEL EDGES AND @ 12" o/c INTO INTERMEDIATE FRAMING MEMBERS
- D2 - 3/4" PLYWOOD SHEATHING NAILED WITH 2.5" NAILS @ 8" o/c AT PANEL EDGES AND @ 12" o/c INTO INTERMEDIATE FRAMING MEMBERS

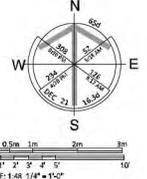
*NOTE: PANEL EDGE NAILING REQUIRED INTO DRAG TRUSSES (TYP.)



2023-08-21
PERMIT TO PRACTICE NO. 100201

H.E.L. PROJECT #5765-003

NOT FOR CONSTRUCTION
APPROVED FOR ADEQUACY OF STRUCTURAL DESIGN ONLY



NOTE: ALL HEADERS TO BE 2-PLY 2X10 SPF NO.1/2 WITH SINGLE CHIPPLE AND KING EACH SIDE UNLESS NOTED OTHERWISE

BUILDING A

UNLESS NOTED OTHERWISE, THE DRAWING SHALL BE IN ACCORDANCE WITH THE BC BUILDING CODE. THE DRAWING IS FOR INFORMATION ONLY AND IS NOT TO BE USED FOR CONSTRUCTION. THE DRAWING IS THE PROPERTY OF THE ARCHITECT AND IS NOT TO BE REPRODUCED OR COPIED WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

DATE	DESCRIPTION
11/15/23	ISSUED FOR PERMIT

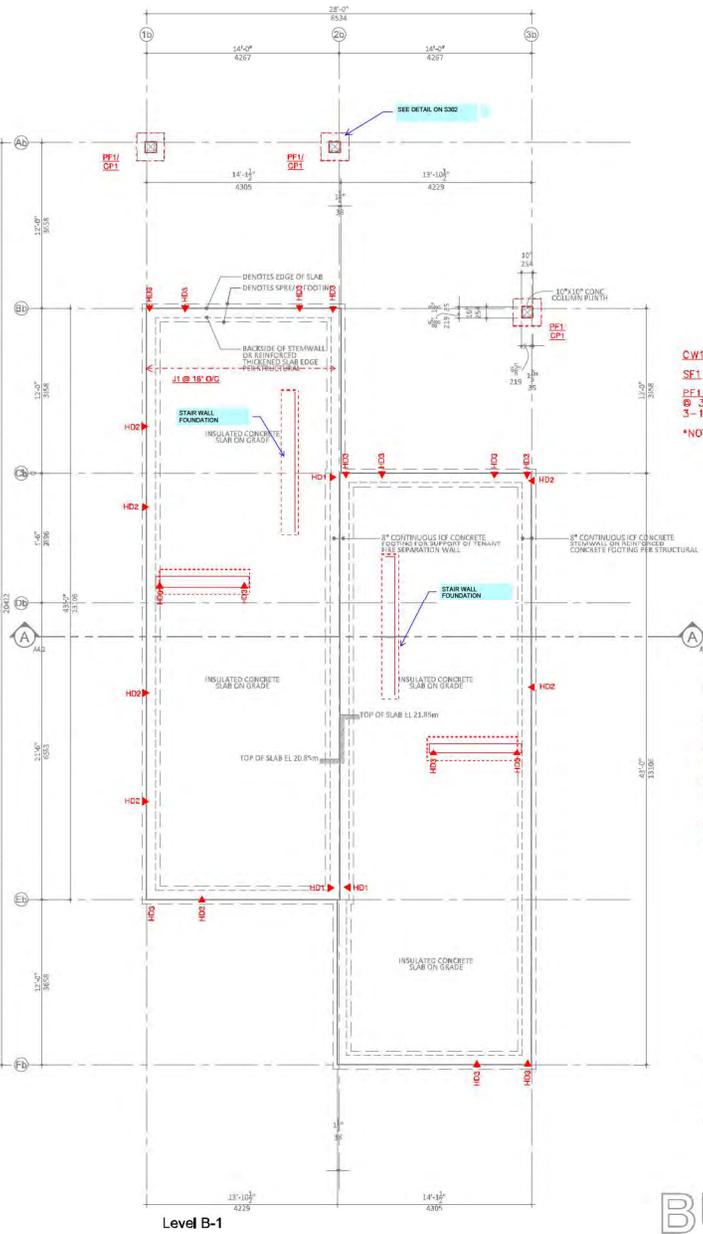


DISTRICT OF UCLUELET
200 MAIN STREET - PO BOX 990
UCLUELET BC V3R 5A2

5-UNIT SUPPORTIVE HOUSING
1300 PENINSULA ROAD
UCLUELET, BC V3R 3A0

- Preliminary -
Not For Construction

A2.2

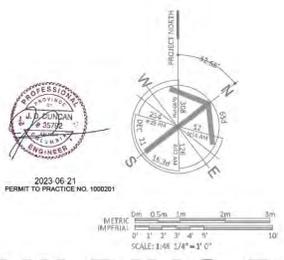


General Notes
 1. TERMINATE ALL BATHROOM AND KITCHEN SINK WASTE LINE PLUMBING TO 14\"/>

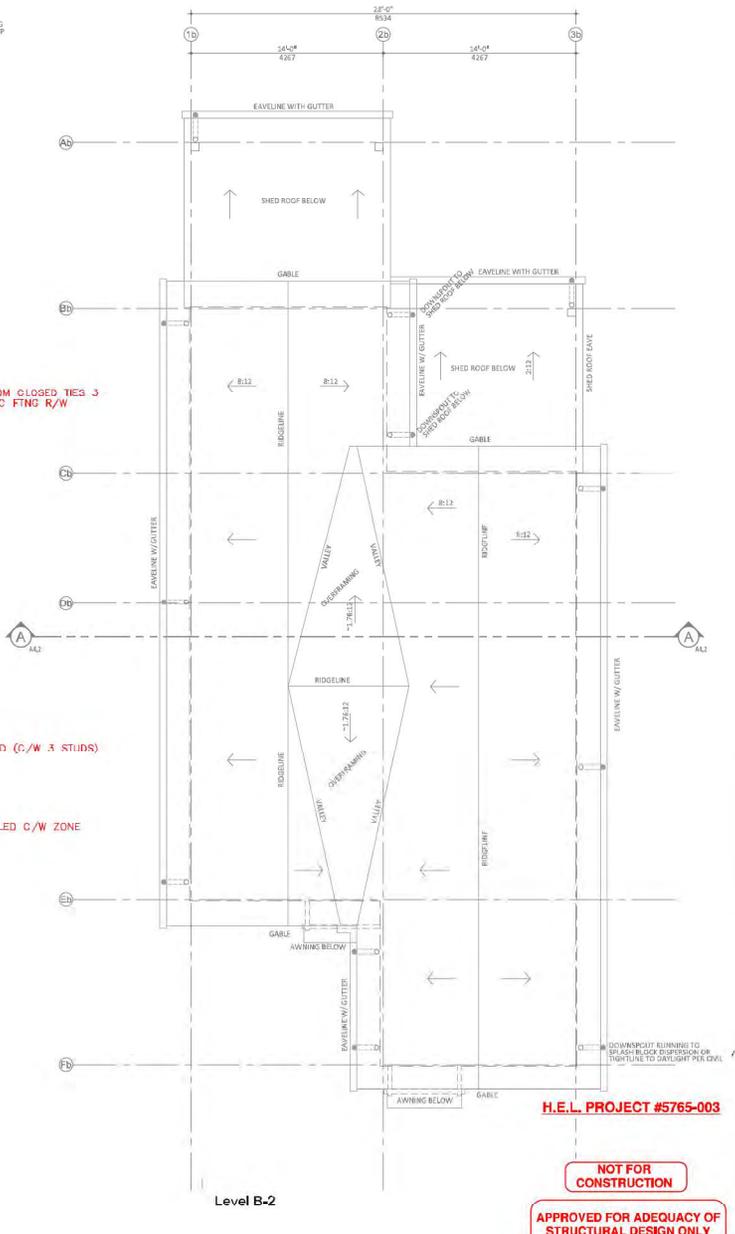
Key Notes
 ① 2

CONC. WALL SCHEDULE
 CW1 - 8\"/>

HOLD-DOWN/STRAP SCHEDULE
 HD1 - SIMPSON STD10 (C/W 2 STUDS)
 HD2 - SIMPSON STD14 (C/W 2 STUDS)
 HD3 - HDUR - 7/8\"/>



BUILDING B



BASED UPON THE PLANES, THE FOUNDATION PLAN IS TO BE CONSIDERED AS PART OF THE PERMITTING PROCESS AND NOT FOR CONSTRUCTION.

DATE	DESCRIPTION
2023-06-21	ISSUED FOR PERMITTING



DISTRICT OF UCLUELET
 200 MAIN STREET - PO BOX 999
 UCLUELET, BC V0R 3A0

5-UNIT SUPPORTIVE HOUSING
 1300 PENINSULA ROAD
 UCLUELET, BC V0R 3A0

- Preliminary -
 Not For Construction

DRAWING	DATE	CODE	BY
DAC		DAC	
AS NOTED			

BUILDING B FOUNDATION DIMENSION & ROOF PLANS

H.E.L. PROJECT #5765-003
NOT FOR CONSTRUCTION
APPROVED FOR ADEQUACY OF STRUCTURAL DESIGN ONLY

General Notes

1. TERMINATE ALL BATHROOM AND KITCHEN SINK WASTE LINE PLUMBING TO 24" ABOVE FLOOR SHEATHING TO ALLOW FOR FUTURE COUNTERTOP LOWERING FOR ACCESSIBLE UNIT CONVERSION
2. REFER TO SHEET A2.2 FOR TYPICAL WALL CALLOUT DESIGNATIONS

Floor Plan Key Notes

1. 32"X48" INSULATED ATTIC ACCESS HATCH
2. SLOPE PATIO SLABS AWAY FROM BUILDING FACE AT 1/4" PER FOOT TO GRATED METAL TRENCH DRAIN
3. VIEW UNIT OR RATED PLATFORM TO MAINTAIN MINIMUM HEADROOM CLEARANCE OF 7' ABOVE ELIGIBLE TREAD DIRECTLY BELOW.
4. SEE DETAIL ON S302

H.E.I. PROJECT #5765-003

NOT FOR CONSTRUCTION

APPROVED FOR ADEQUACY OF STRUCTURAL DESIGN ONLY

BCM SCHEDULE

- B1 - 2X10 SPF NO.1/2
- B2 - 2x4 @ 16" O.C. WITH 2x6 @ 16" O.C. 20F-E STRESS GRADE - EXTERIOR EXPOSURE
- B3 - 11-7/8" T2 (OR EQUIV) BY OTHERS
- B4 - 2X10 SPF NO.1/2

*NOTE: ALL UNLABELLED HEADERS TO BE 2B1 UNLD

POST SCHEDULE

- P1 - 2x4 SPF No.1/2
- P2 - 2x6 SPF No.1/2
- P3 - 6-7/8" x 6" GLULAM CLT-R-16-E EXTERIOR EXPOSURE

*NOTE: ALL UNLABELLED TO BE 2PLY MIN.

Shearwall SCHEDULE (BLOCKED)

- SW1 - 1/2" PLYWOOD SHEATHING NAILED WITH 2.5" NAILS @ 6" o/c AT PANEL EDGES AND @ 12" o/c INTO INTERMEDIATE FRAMING MEMBERS, A35 x 18" o/c, 5/16" DIA. DRK x 24" O/C, 5/8" DIA. ANCHOR BOLTS @ 32" o/c
- SW2 - 1/2" PLYWOOD SHEATHING NAILED WITH 2.5" NAILS @ 6" o/c AT PANEL EDGES AND @ 12" o/c INTO INTERMEDIATE FRAMING MEMBERS, A35 x 18" o/c, 5/16" DIA. DRK x 24" O/C, 5/8" DIA. ANCHOR BOLTS @ 32" o/c
- SW3 - 1/2" PLYWOOD SHEATHING NAILED WITH 2.5" NAILS @ 2" o/c AT PANEL EDGES AND @ 12" o/c INTO INTERMEDIATE FRAMING MEMBERS, A35 x 6" o/c, 5/16" DIA. DRK x 6" O/C, 5/8" DIA. ANCHOR BOLTS @ 32" o/c

*NOTE - SEE SHEAR WALL DETAILS IN STRUCTURAL NOTES

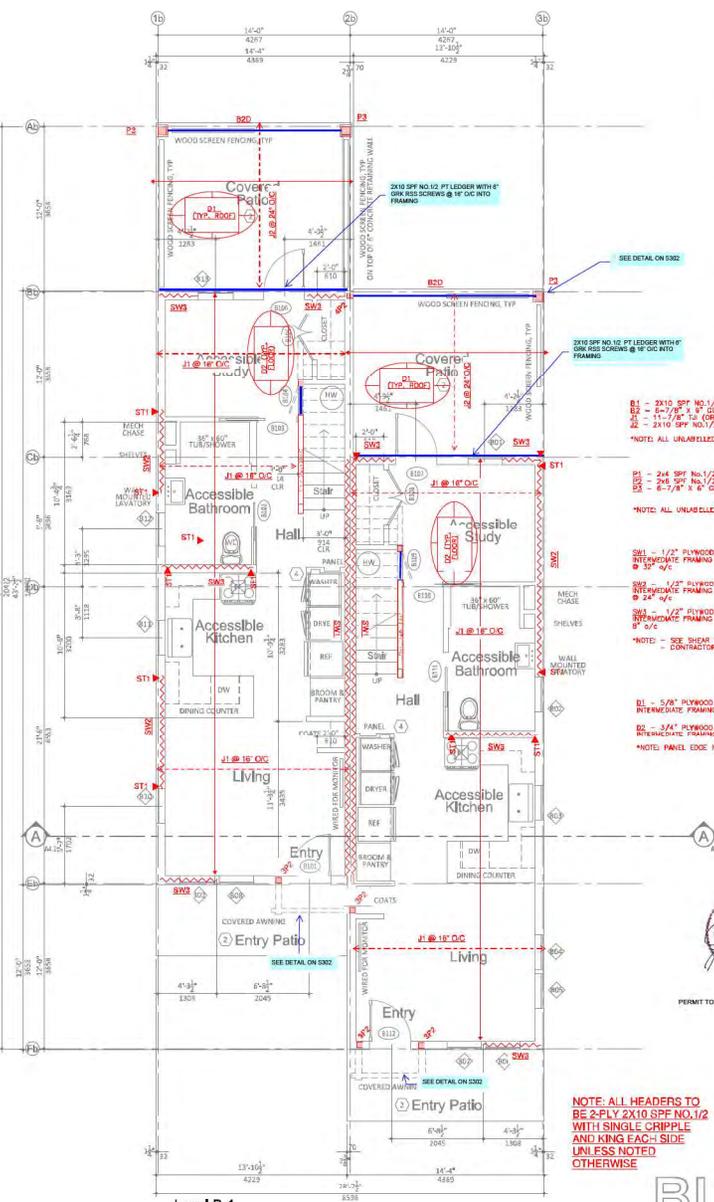
Diaphragm SCHEDULE

- D1 - 5/8" PLYWOOD SHEATHING NAILED WITH 2.5" NAILS @ 6" o/c AT PANEL EDGES AND @ 12" o/c INTO INTERMEDIATE FRAMING MEMBERS
- D2 - 3/4" PLYWOOD SHEATHING NAILED WITH 2.5" NAILS @ 6" o/c AT PANEL EDGES AND @ 12" o/c INTO INTERMEDIATE FRAMING MEMBERS

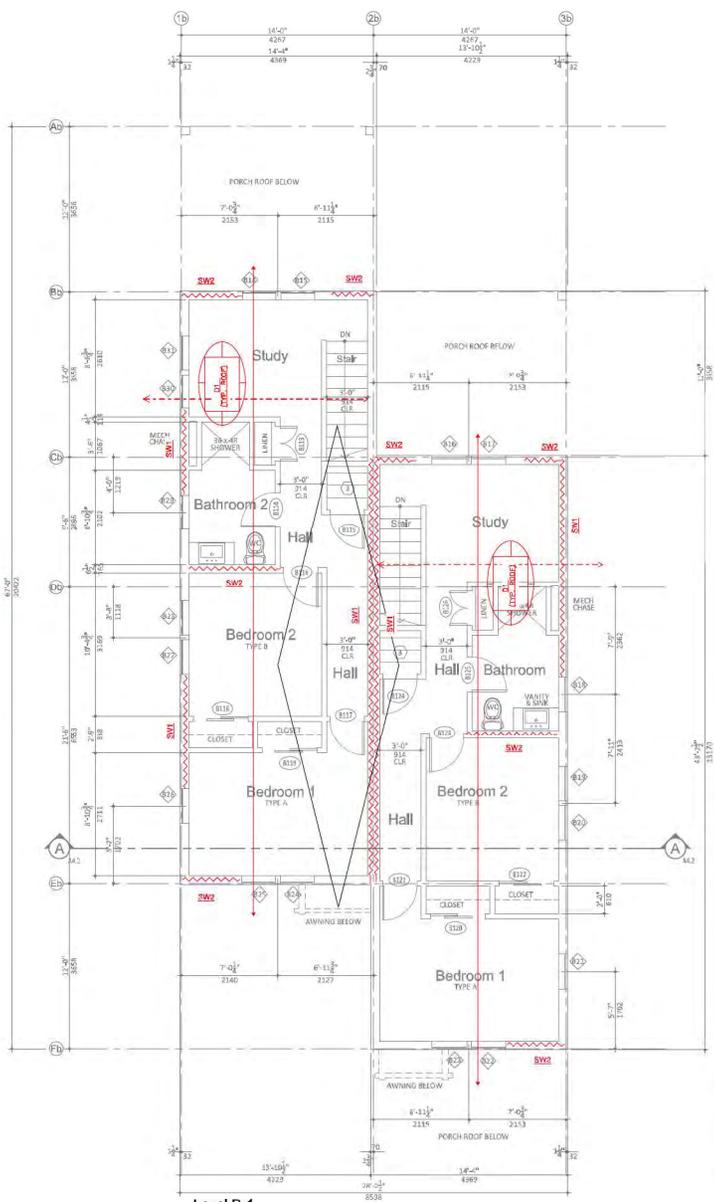
*NOTE: PANEL EDGE NAILING REQUIRED INTO DRAG BRUSES (TYP.)



BUILDING B



Level B-1



Level B-1

BASED UPON THE PLANES, THE DRAWING SHALL BE USED TO CONSTRUCT THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS OF THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.

DATE	DESCRIPTION
2023-06-21	ISSUED FOR PERMIT
2023-06-21	ISSUED FOR CONSTRUCTION
2023-06-21	ISSUED FOR CONSTRUCTION
2023-06-21	ISSUED FOR CONSTRUCTION

DRIVING: 2023-06-21
 DATE: 2023-06-21
 DESCRIPTION: 2023-06-21

Doug Cole Architect
 Architecture
 Engineering
 Environmental
 Management

DISTRICT OF UCLUELET
 200 MAIN STREET - PO BOX 990
 UCLUELET BC V3R 5A2

5-UNIT SUPPORTIVE HOUSING
 1300 PENINSULA ROAD
 UCLUELET, BC V3R 5A2

- Preliminary -
 Not For Construction

DRAWN BY	CHECKED BY
DAC	DAC
DATE	AS NOTED
BUILDING B FLOOR PLANS	

SCALE: 1/4" = 1'-0"

Joseph Rotenberg

From: Info Ucluelet
Sent: September 15, 2023 3:18 PM
To: Joseph Rotenberg
Cc: Duane Lawrence
Subject: FW: Request for your attention to an important issue
Attachments: aquamation map.jpg; Resolution for AH template.docx

Follow Up Flag: Follow up
Flag Status: Flagged

FYI



Kathryn Wallace
Administrative Clerk

District of Ucluelet
P.O. Box 999, Ucluelet, B.C.
Phone: 250-726-7744

From: Gail Mitchell [REDACTED]
Sent: Friday, September 15, 2023 3:01 PM
To: [REDACTED]
Cc: Ruth Davis [REDACTED]; Ellie Hallman [REDACTED]; swestie [REDACTED]
Subject: Fwd: Request for your attention to an important issue

[External]

September 15, 2023

To all municipal governments of British Columbia,

We are writing to seek your help in getting an important piece of provincial legislation amended.

The Cemetery, Interment and Funeral Services Act of British Columbia needs to be amended because it only allows for burial or fire-based cremation. Using large tracts of land for

cemeteries is no longer a viable option and cremation has become the most widely chosen form of human disposition, by up to 90% of BC residents. Crematoria are huge emitters of carbon. The smoke from these facilities makes them unpopular in any neighbourhood. Thus, bodies are being brought to Vancouver Island from Vancouver for the process with the ashes returned to the city.

There is a better option. Aquamation or Alkaline Hydrolysis is gaining recognition in Canada, the US and around the world as being an environmentally friendly and economically viable alternative. To gain information on this process, please see the list of references. There is also an attachment showing where AH is legal in North America.

Established goals of carbon reduction require our provincial government to broaden the definition of “cremation” to include flameless or water cremation (alkaline hydrolysis or aquamation).

We are asking you to consider the attached template, formulated by the District of Esquimalt, and use it to help us lobby the provincial government to make the necessary change to this piece of legislation, sooner rather than later. Your letters, with the resolution, to the Union of BC Municipalities and your MLA would be powerful.

Thank you for your attention to this important matter.

References:

1. www.aquamationbc.ca
2. www.cremationassociation.org/page/alkalinehydrolysis
3. <https://agoodgoodbye.com/tools-of-the-trade/the-latest-on-alkaline-hydrolysis-for-people-and-pets/>
4. <https://www.kamloopsthisweek.com/local-news/aquamation-instead-of-cremation-5402741>
5. <https://www.thedailybeast.com/aquamation-and-human-composting-are-opening-up-eco-friendly-burial-options-for-funerals?ref=author>
6. <https://www.youtube.com/watch?v=7Le7rLbkFe4>
7. <https://biosafeeng.com/divisions/life-science/resources/alkaline-hydrolysis/>

Sincerely,

Representative advocates for legalizing Aquamation in BC:

Ruth Davis, North Cowichan,

Ellie Hallman, Cowichan Bay,

Gail Mitchell, North Cowichan,

Stuart Westie, Williams Lake

A RESOLUTION OF THE _____
 SUPPORTING THE INCLUSION OF AQUAMATION aka ALKALINE HYDROLYSIS,
 IN THE CEMETERY, INTERMENT AND FUNERAL SERVICES ACT OF THE
 PROVINCE OF BRITISH COLUMBIA.

WHEREAS, every Municipality in the Province of British Columbia has an obligation to encourage industry to reduce harmful climate emissions by adopting greener technology; and

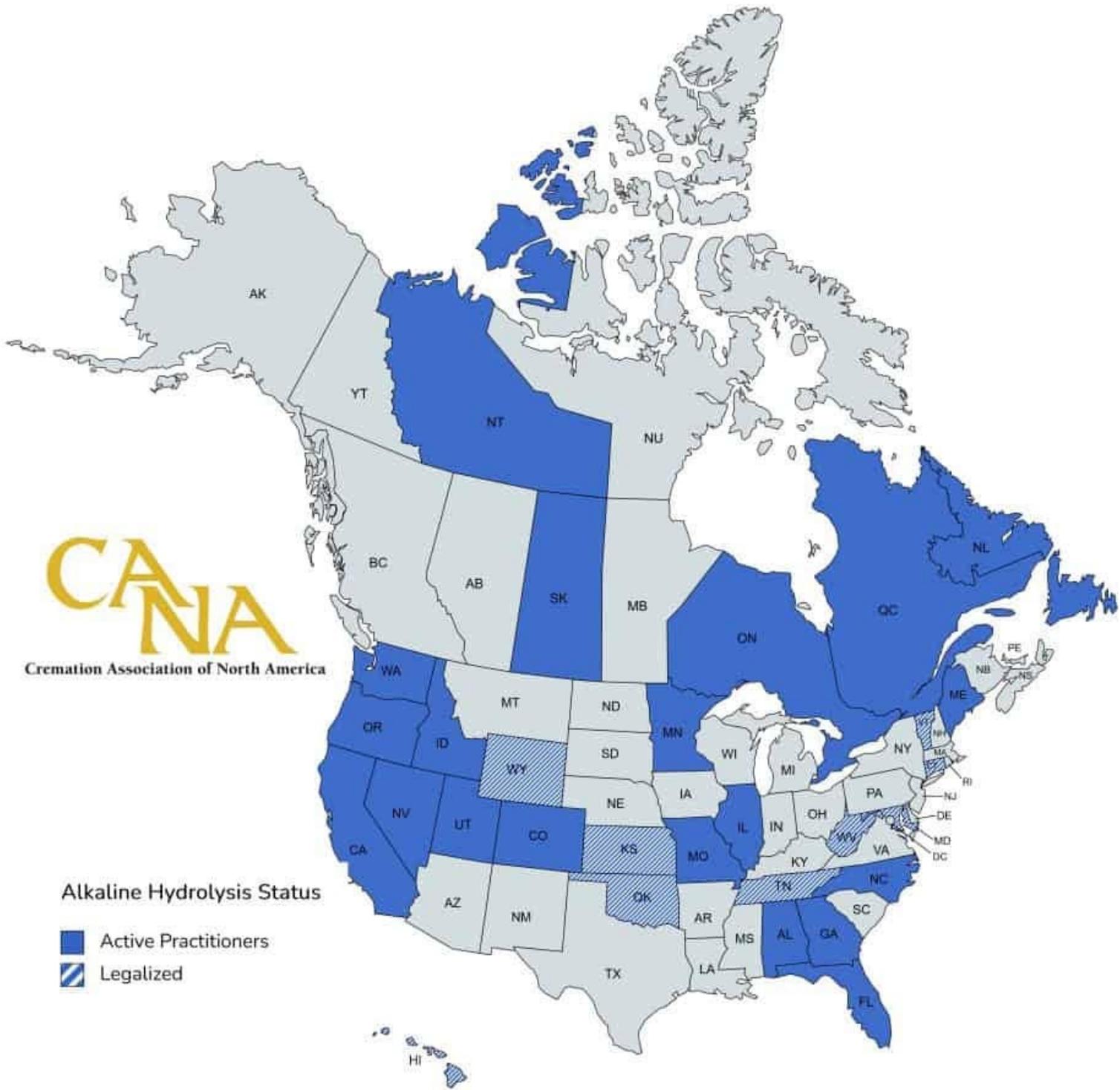
WHEREAS, flame cremation contributes to environmental air pollution by consuming fossil fuels and emitting harmful CO2 into the atmosphere; and

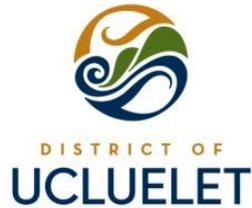
WHEREAS, local industry has available technology that will significantly reduce environmentally harmful air pollution and the consumption of fossil fuels; and

WHEREAS, current regulations regarding the types of disposition of deceased persons do not allow for Alkaline Hydrolysis as an approved method of disposition; and

WHEREAS, four Canadian Provinces namely, Quebec, Ontario, Saskatchewan and Newfoundland as well as the Northwest Territories recognize Alkaline Hydrolysis as an acceptable process of disposition of a deceased person.

*NOW, THEREFORE, BE IT RESOLVED that the Council of the _____
 _____ supports the amendment to the CIFSA Act
 and/or regulations therein, to allow for Alkaline Hydrolysis to be included as a
 permitted form of disposition of deceased persons in the Province of British
 Columbia.*





INFORMATION REPORT

Council Meeting: September 26, 2023
500 Matterson Drive, Ucluelet, BC V0R 3A0

FROM: RICK GEDDES, FIRE CHIEF

FILE NO: 7380-20

SUBJECT: FIRE AND EMERGENCY SERVICES 2023 Q1-Q2 REPORT

REPORT NO: 23-124

ATTACHMENT(S): N/A

PURPOSE:

This report is to update Council on Ucluelet Fire and Emergency Services activities for the first half of 2023.

OPERATIONS:

From January 1st, 2023, to June 30th, 2023, Ucluelet Fire Rescue responded to 81 calls. This represents a slight increase from the same period last year (76 calls Q1-Q2 2022).

Call breakdown includes:

- Alarm Activations: 14
- Ambulance assists: 3
- Beach / Brush Fires: 3
- Chimney Fires: 1
- Duty Officer Investigations: 6
- Hydro Trouble: 8
- Marine Incidents: 1
- Medical Calls: 22
- Motor Vehicle Fires: 1
- Motor Vehicle Incidents: 16
- Propane / Gas Leaks: 2
- Structure Fires: 2
- Other: 2

One of the two structure fires was in Ucluelet and resulted in minimal property damage.

Ucluelet Fire Rescue responded to 21 calls in contracted areas during this period. This includes motor vehicle incidents which the fire department responds to on behalf of the Ministry of Emergency Management and Climate Readiness (Formerly EMBC).

The District receives compensation when responding on behalf of EMCR. This money is then allocated to the Fire Facilities, Vehicles, & Equipment Reserve Fund Account.

There were no emergency operations centre (EOC) activations or emergency social services (ESS) activations in the reporting period.

The Ucluelet Emergency Planning Committee held quarterly meetings in January and April. These meetings are a valuable forum to exchange information and training opportunities amongst those agencies with whom the District collaborates during emergencies.

TRAINING:

Fire department members dedicated over 1100 person hours to training during the reporting period. Training highlights include:

- Three recruit firefighters began the National Fire Protection Association (NFPA) 1001 Firefighter 2 Program.
- One firefighter completed NFPA 1021 Fire Officer Level 1.
- Four firefighters attended Live Fire 1 certification training in Comox.
- Three firefighters attended air brakes certification training in Errington.
- Five firefighters attended wildland firefighting training hosted by Parks Canada and Long Beach Airport.
- One firefighter completed NFPA 1521 Incident Safety Officer certification training in Vancouver.
- One firefighter enrolled in NFPA 1021 Fire Officer 1.
- All members (other than recruits) are now certified at NFPA 1001 Live Fire 2.

The fire department continues to train with our automatic mutual aid partners at Tofino and now plans a joint practice at least quarterly. This joint training has proven to be extremely valuable in strengthening the interdepartmental relationship.

In February, 22 local volunteers and District employees took part in an EOC (Emergency Operations Centre) Essentials course that was delivered at the firehall by the Justice Institute of BC. Course fees were paid for through a provincial grant that the District applied for.

In May, the District hosted a joint Emergency Operations Centre mock activation that had 62 participants. This exercise involved establishing three EOCs (Ucluelet, Tofino, and the Alberni Clayoquot Regional District). Area First Nations also actively took part. This exercise was funded through a joint UBCM grant in which The Districts of Ucluelet and Tofino partnered with the ACRD.

Under the same grant funding, the District acquired a new portable projector for EOC activations, as well as new vests for all EOC functions.

FIRE PREVENTION:

Thirty-two (32) fire safety inspections were completed during the period. This is a slight decrease from 2022, where thirty-four (34) inspections were completed in the same period.

Our fire safety inspection program was developed in 2020 and is continuing to progress. The addition of a fulltime Deputy Fire Chief (Fire Prevention & Training) in July of 2023 will allow this program to flourish. Deputy Chief McRurie recently completed introductory Local Assistant to the Fire Commissioner training and is being mentored in the fire safety inspection process . This will allow for increased proactive fire inspections to occur in future years.

GENERAL INFORMATION:

In May, the Firefighter’s Association held a very successful community barbecue fundraiser at Big Beach. Funds raised have been allocated to replenish the firefighters’ benevolent fund.

The 2023 recruits have all been assigned to their respective duty crews and now responding to calls. Recruiting has been ongoing with the intention of the next recruit class starting late 2023.

Work continues on the updating service agreements with the Alberni Clayoquot Regional District (for Area “C” fire protection and emergency management) and Parks Canada. Both service agreements are long out of date and will include updated services and fee structures.

The District hosted a High Ground Hike during Tsunami Preparedness Week. The hike was attended by the Honourable Bowinn Ma, Minister of Emergency Management and Climate Readiness. The University of Ottawa also took part in the event as part of a study they are undertaking on evacuations. Part of the week’s activities included tsunami information sessions at both local schools in collaboration with the University of Ottawa.

The Canadian Red Cross Community Access Team made two visits to Ucluelet in the first half of 2023. The reason for their visits was to assist the District in emergency planning and increase public awareness. They created an online emergency preparedness survey that residents were encouraged to complete as well as an emergency preparedness pamphlet that is being used for residents and visitors.

Recently the provincial government (Emergency Medical Assistants Licensing Board) amended legislation that expands the scope of practice for those who are licensed at the First Responder level. These upgrades will result in a significant increase in diagnostic and treatment capabilities of firefighters. The Fire Chief is certified to provide the license upgrades in-house with training tentatively scheduled for the fourth quarter of 2023. This will mean an additional ten hours of training per firefighter, as well as regular upkeep on the new skills learned.

Ucluelet Fire Rescue continues to attract quality members who are committed to this community and are guided by the fire department’s values of safety, respect, reliability. compassion, competence, and resilience.

Respectfully Submitted: Rick Geddes, Fire Chief



INFORMATION REPORT

Council Meeting: September 26, 2023
500 Matterson Drive, Ucluelet, BC V0R 3A0

FROM: DUANE LAWRENCE, CAO

FILE NO: 0640-30

SUBJECT: COUNCIL STRATEGIC PRIORITIES UPDATE

REPORT NO: 23- 125

ATTACHMENT(S): APPENDIX A – STRATEGIC PRIORITIES SUMMARY

PURPOSE:

This report is intended to provide Council with a quarterly update on Council’s Strategic Priorities.

BACKGROUND:

Council’s strategic plan provides an overview of priority objectives and directions for municipal staff that are actioned as part of their annual work plan. The strategic priorities also provide general guidance on the organizational direction identified through key objectives.

The attached summary report is intended to provide Council with an update on how the key objectives are progressing.

REPORT:

Council’s Strategic Priorities and Action Summary are living documents. If new priorities are identified by Council they may be added to Council’s Strategic Priorities by resolution. It is key to recognize that if a new priority is identified, existing priorities will be deferred to allow for the new priority to be actioned.

Prior to considering a new priority item it will be important to allow the CAO an opportunity to determine the most appropriate department to which the new priority should be assigned and consider which of the key priorities would be most appropriate to defer and any implications with deferring the identified priority. A sample resolution has been provided below.

THAT Council direct Staff to add _____ to Council’s Strategic Priorities and authorize the Chief Administrative Officer to adjust Council Strategic Priorities.

As priorities are completed staff will include within this report an update on those items. ‘Future’ and ‘later’ items will be moved up on the priority and action list as other priorities are completed.

Additionally, staff may identify new strategic priorities that should be considered as actionable items.

The following objectives have been completed and removed from the strategic priority’s summary.

- Recruitment of a new director of Finance

- Village Green Project
- Peninsula Road Strom – design and funding approved (incorporated into Peninsula Road Improvement Project).
- OCP: Growth and Development Review

A full review of Councils strategic priorities is planned for early 2025 as a midterm assessment. At any time, Council may direct staff to organize a full or partial review or update of Councils strategic plan to ensure it continues to align with Councils strategic objectives.

Respectfully submitted: Duane Lawrence, CAO

Appendix A

Council Strategic Priorities Action Summary				
Priority	Budget	Action Date	Action	Outcome
Council Priorities				
1. OCP: Growth & Development	n/a	Jun	Growth analysis brought back to Council for review	Guidance on any potential changes to the growth strategy approved in the 2022 OCP
2. Parks & Rec Master Plan	\$80,000	Oct	RFP & scope review with Council	Engage a contractor to undertake engagement and concept design for the replacement of the Recreation Hall
3. Capital Plan: 5-yr Asset	n/a	Oct	Compilation of assets and values	High level estimate of capital expenditures and projects to be incorporated into the 5-year financial plan
4. Vacant Property Management	n/a		Research and RTCoW	Exploration of options to reduce number of vacant homes
5. Water Treatment & Security	\$20M	Oct	Engage Funder to reduce scope	Engage Federal Government to allow for the reduction of the project scope in order to reduce total project cost
Advocacy				
Supportive Housing (BCH/CMHC)	n/a		Engage BC Housing & CMHC	Support for community affordable & supportive housing projects
West Coast Evacuation Plan (ACRD)	n/a		Engage ACRD in the development of a west coast evacuation plan	Improved emergency readiness on the west coast
Health Centre Development (IH)	n/a	Oct	Engage Island Health to facilitate the development of a new health centre	Announcement anticipated in October of 2023
Hwy 4 Cell Coverage	n/a		Engage Ministry of Citizen Services to priorities Hwy 4 cell coverage	Installation of cell towers to improve cellular coverage along Highway 4 - Rogers investigating cell tower locations
Peninsula Road Improvements (MOTI)	n/a	Oct	Work with MOTI Staff to align storm and paving project	MOTI provided financial support and has approved project.
Partnerships				
Community to Community Meeting(s)	n/a	Sept	Meeting with UFN	Initial meeting with UFN identifying opportunities for government to government collaboration.
Indigenous Significant Sites Protocol	n/a		Develop draft protocols (per OCP)	Review of development applications, blanket review and permit for our works on public land & identifying known significant sites
Worker Housing Options	n/a		Exploration of employee housing development options	Research employee housing models and opportunities, report back to Council on options.
Fire Services Agreements	n/a		Review of service agreements	Determine updated fee for services and possible capital contributions for fire hall and engine replacements.
Kelp Farming: Discussion (Industry)	n/a		Investigation & Research	Determine options, partnerships.
Chief Administrative Officer				
1. Collective Bargaining	\$10K	Nov	Notice from union to commence bargaining	Preparation for bargaining session in the fall
2. Community to Community Meeting(s)	n/a	Sept	Meeting with UFN	Initial meeting with UFN identifying opportunities for government to government collaboration.
3. Service Capacity Review: ToR	n/a	Dec	Service delivery review and operational capacity	Develop Terms of Reference for Council consideration; possible 3rd party assessment
* Economic Resilience Strategy: Review	n/a		Research	Review 2017 Economic Development Strategy
*				
Finance				
1. Capital Plan - 5-yr	n/a	Sept	Financial Planning for Capital Assets	High level review of current asset replacement requirements and development needs with order of magnitude cost estimates
2. DCC Bylaw Update: RTC	\$45K	Oct	RTC outlining ToR	Drafting of DCC RFP, updating budget and authorization to contract out the update of the bylaw.
3. Alternative Revenue: Strategies: RTC	n/a	Sept	RTCoW on a parking program	Direction on undertaking a fee based parking program for Ucluelet
* Fees & Charges (Water & Sani) Review	n/a		Review of current fees	RTC on adjustments needed to adequately fund the sewer and water services
* 20-Yr Capital Plan (Asset Management)	n/a		Asset Inventory	Long-term capital investment requirements

Planning & Development				
1. CMHC Housing Accelerator Fund	n/a	Nov	Prepare action list for review.	If application is approved District will need to move quickly to achieve approved objectives.
2. Supportive Housing: Design	\$225,000	Nov	Submit grant application	Identify and submit grant applications for possible funding of supportive house development.
3. Short-Term Rentals: Regulations Review	n/a	Jan	Review of current regulations of STR tourist accommodation.	Direction on modifying bylaws and policies related to tourist accommodation in residential areas
* DP Application Procedures Bylaw Update	n/a		Determine scope of update	Ensure update reflects Council intent and meets District objectives
* Subdivision Services Bylaw Update	n/a		Determine scope of update	Ensure update reflects Council intent and meets District objectives
Operations				
1. Water Treatment	\$9.6M	Dec	Prepare qualification based selection procurement documents.	Pre-qualification of design and engineering firms in advance of an RFP.
2. Works & Services Bylaw	n/a	Sept	Development of new bylaw	Provides current guidelines and requirements for new developments within the DoU
3. Operational Capacity Development	n/a	Oct	Developing an update organization structure.	Creates opportunity for employees to move within the organizational structure.
* Asset Management Plan	n/a		Input of master plan data	First draft of asset management plan
* Water Works Bylaw	n/a		Review of Bylaw	Determination of required updates to meet current standards
Corporate Services				
1. Privacy Management Program: Implementation	n/a	Oct	Implement Program	Identify gaps, provide training, update forms and update Privacy Impact Assessments
2. Delegation of Authority Bylaw	n/a	Oct	Draft bylaw	Consolidation of delegation authorities and confirmation of delegation of authority by Council
3. IT Services Contract	tbd	Nov	Draft and Issuance of an RFP for IT services	Ensure value in IT services contract, compliance with purchasing policy
* Procedure Bylaw Updates	n/a		Draft bylaw amendments and bylaw	Present Bylaws to Council and give notice
* Alternative Notice Bylaw	n/a		CoW Report	Determination of Council direction for provision of public notice requirements
Communications & Human Resources				
1. Sick Leave Policy	n/a	Nov	Develop draft short term sick leave policy	Address policy gap for use of sick leave related to short term sick leaves (2 wks through 4 mth)
2. Website Rebuild: RFP	\$44,450	Oct	Draft RFP for Website rebuild	Engage consultant to redesign and update district web site, for increased accessibility and usability.
3. Communications Policy: RTC	n/a	Jan	CoW Report	Guidance on desired outcomes for a communications policy
* Training & Development Policy	n/a		Draft policy	Outlines staff and employee training and development parameters to ensure equity across the district
* OH&S Policy	n/a		Draft Policy	Updated compliance with Worksafe BC requirements
Fire & Emergency Services				
1. Fire Hall Replacement Plan	n/a	Sept	RTC fire hall improvements/replacement	Seek direction from council on options for short term improvements and long term replacement of fire hall
2. Emergency Management Plan: Update	n/a	Oct	Draft update	Current and actionable emergency planning document
3. Building Development Guidelines	n/a	Sept	Draft development of building development guide for fire code requirements	Increased awareness and improved compliance with new developments on fire regulations and emergency access requirements
* Fire Service Review	\$12,000		Engage Fire Under righters	Verify current capacity and provide direction on current and future needs
* Fire Service Agreements Review	n/a		Review of funding calculations for fire services	Equitable contributions to maintain and operating fire and protective services; capital contribution agreements for future fire capital requirements

Parks & Recreation				
1. Parks & Rec Master Plan	\$40,000	Sept	Develop ToR for Council Review	Identify desired outcomes of an updated Recreation Master Plan
2. Rec Hall Replacement	\$75,000	Oct	RFP & scope review with Council	Engage a contractor to undertake engagement and concept design for the replacement of the Recreation Hall
3. Accessibility Policy: Draft	n/a	Nov	Draft accessibility policy	Policy that provides guidance on ensuring accessibility is a part of all projects and initiatives within the municipality
* Safe Harbour Path	\$35,000		Concept Plan	Approval of a concept design that meets Council and community expectations for the development of the new harbour path
* Harbour Master Plan Implementation	n/a		Review of recommendations and back to Harbour Authority	Determination of priority actions/initiatives for future budgeting process.
CAPITAL WORKS				
* Mercantile Creek Water Line: RFP	\$1M	Sept	RFP development	Secure a contractor for the replacement of the damaged water supply line
* Peninsula Road Corridor: RFP	\$3M	Sept	Tender Project (Storm & Pedestrian Upgrades)	Retain contractor to undertake works.
* Victoria Lift Station Bypass (completion)	\$156K	Oct	Undertake construction	Construction of bypass system to investigate condition of lift station
* Amphitrite House (completion)	\$1.69M	Mar	Completion of Construction	Completion of Project by March 31, 2024
* Larch Road Multi-use Path	\$650K	May	Construction	Project Awarded, construction to start in March for May completion.
* Water Treatment: Ministry Approval	\$9.6M	Dec	Prepare qualification based selection procurement documents.	Pre-qualification of design and engineering firms in advance of an RFP.



INFORMATION REPORT

Council Meeting: September 26, 2023
500 Matterson Drive, Ucluelet, BC V0R 3A0

FROM: JOSEPH ROTENBERG, MANAGER OF CORPORATE SERVICES

FILE NO: 0550-20

SUBJECT: RESOLUTION TRACKING – SEPTEMBER 2023

REPORT NO: 23-127

ATTACHMENT(S): APPENDIX A - RESOLUTION TRACKER – SEPTEMBER 2023

PURPOSE:

The purpose of this report is to provide Council with a status update on resolutions that have been adopted by Council.

BACKGROUND:

The resolution tracking report, attached, provides Council with an overview of actions resulting from resolutions of Council. Trackers are assigned to staff with the following progress designations:

- Assigned – action has not yet commenced;
- In Progress – action has been taken by Staff;
- Deferred – no action at this time;
- Complete – action has been completed; and
- No Further Action – no further action on this matter will be taken by District Staff.

Items will be removed from the list after actions are shown once as complete or no further action.

Respectfully submitted: JOSEPH ROTENBERG, MANAGER OF CORPORATE SERVICES

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Resolution Date	Meeting Item Description	Resolution	Action	Department Responsible	Status	Comments/Actions
-Jul-20	Audio Visual Upgrades for the Main Hall	THAT Council approve using up to \$60,000 RMI funds for Audio Visual (AV) upgrades to the Main Hall at the Ucluelet Community Centre.	Implement AV upgrades.	Parks & Recreation	Complete	Finalizing installation with IT
-Jun-21	Resolution Tracking - May 2021	THAT staff provide a report to Council with options for the investment of Barkley Community Forest Funds at an upcoming Council Meeting.	Staff to develop a legacy reserve fund as part of the statutory reserve policy.	Finance	In Progress	BCF funding to be considered as part of the 2024 five year financial plan.
-Sep-21	Dr. Carrie Marshall and Faye Missar, Coastal Family Resource Coalition Re: Harm Reduction	THAT Council direct Staff to bring back the alcohol harm reduction information to at a future meeting for Council discussion.	Draft report and bring back alcohol related information for Council discussion.	Recreation	In progress and being researched	report to be presented in the fall
-Dec-21	Parking Concerns 1624 Bay Street	THAT Council direct staff to relocate the pedestrian pathway and cross walk currently located on the west side of Bay Street to the east side of Bay Street.	Develop new routing plan; convey plan to affected residents and implement project.	Public Works		This resolution was rescinded on May 9, 2023
22-Feb-22	Water Treatment System Upgrades	THAT Council authorize Staff to issue a Request for Proposal in 2022 for the Design-Bid-Build of the water treatment system project upon a successful Alternative Approval Process; and,	Issue a Request for Proposal in 2022 for the Design-Bid-Build of the water treatment system project upon a successful Alternative Approval Process.	Public Works	In Progress	Design RFP anticipated in summer 2023
19-Apr-22	Traffic Calming Next Steps		Prepare a draft traffic calming policy	Public Works	Deferred	The creation of a formal policy for speed has been deferred, or adjusted to a guideline
19-Apr-22	Update on Village Green: Main & Cedar Intersection	It was moved and seconded THAT Council direct staff to explore costs for adding parking stalls within the current extents of the Cedar Road Parking Hub, for consideration in the 2023 budget.	Explore costs for exploring the addition of parking stalls within the Cedar Hub Parking Hub, for consideration in the 2023 budget.	Public Works	In Progress	RTC in summer 2023. Update RTC in Fall JM

-May-22	Affordable Housing	It was moved and seconded THAT the Committee of the Whole recommend Council authorize the Mayor to execute a Memorandum of Understanding in support of the development of a regional governance framework for coordinating and sharing resources to address affordable housing on the West Coast peninsula as presented in the May 31, 2022 Affordable Housing report.	Mayor to execute the MOU.	Administration	Deferred	MOU stalled with stakeholder group. No actions have occurred. Staff will monitor for movement and bring back for consideration once other stakeholders have actioned.
-May-22	Affordable Housing	It was moved and seconded THAT Council direct staff to issue a request for proposal to engage a housing authority. It was moved and seconded THAT the Committee of the Whole recommend that Council direct staff to issue a request for proposal to engage a housing authority.	Issue a request for proposal to engage a housing authority.	Administration	Deferred	
-May-22	Contractor's Temporary Land Use	It was moved and seconded THAT Council approve Option A, to authorize the use of District-owned land to temporarily house contractors while working on District capital projects; and It was moved and seconded THAT Council direct Staff to return to Council with the details and planning necessary to administer temporary contractor housing.	Return to Council with the details and planning necessary to administer temporary contractor housing.	Public Works	In Progress	
-Jun-22	Trail Right of Way over 348 Pass of Melfort	It was moved and seconded THAT Council, for the purposes of creating a public pathway over 348 Pass of Melfort, Strata Lot 10, Plan VIS5896, Section 1, Barclay Land District: 1. Direct District of Ucluelet staff to execute and register the S.218 Statutory Right of Way attached as Appendix A of staff report 22-78. 2. Direct District of Ucluelet staff to coordinate the environmental and estimating work required so that a public pathway over 348 Pass of Melfort and relocated elements of the Wild Pacific Trail can be considered and prioritized in future budgeting process. It was moved and seconded THAT a letter of appreciation be forwarded to the property owners and some form of tribute to them be included in the trail construction.	Execute and register the S.218 Statutory Right of Way attached as Appendix A of staff report 22-78. Coordinate the environmental and estimating work required so that a public pathway over 348 Pass of Melfort and relocated elements of the Wild Pacific Trail can be considered and prioritized in future budgeting process. Forward a letter of appreciation to the property owners and include some form of tribute to them in the trail construction.	Planning	In Progress	Statutory Right of way has been registered. Environmental work yet to be completed. Tribute and letter will be completed at time of trail construction.
16-Aug-22	Fireworks Regulation Bylaw 1302, 2022	THAT Council approves the Fireworks Fines & Penalties as presented in staff report No. 22-113 and directs staff to present an amendment to Municipal Ticket Information System Bylaw No. 949, 2004 to include these fines and penalties.	Draft MTI amendment bylaw and bring forward for Council review.	Administration	Assigned	Fall 2023
15-Nov-22	Ucluelet Garbage Collection and Regulation Bylaw No. 960, 2004	It was moved and seconded THAT Council direct staff to present an amendment to the District of Ucluelet Garbage Collection and Regulation Bylaw No. 960, 2004, to be considered at a future Council meeting, which allows for Bear Resistant Collection Carts to be stored outside provided that the container is anchored to prevent tipping or being dragged away by an adult bear.	Draft and present amendments to Bylaw No. 960, 2004 to allow for outdoor storage of garbage carts provided they are anchored.	Recreation	Deferred	Will be working with Wildsafe BC to monitor summer garbage and provide a wildlife attractant bylaw in the fall

Nov-22	The Moorage Street Parking Signage and Enforcement Christine Brice, Strata Manager Ardent Properties INC.	It was moved and seconded THAT Staff provide a report about options for Ardent Properties.	No-overnight parking signage to be installed along Lyche Rd; additional line painting to be completed with next line painting works.	Public Works	In progress	Work order has been issued to complete the requested work.
Nov-22	2023 Council Conference Attendance	It was moved and seconded THAT Council authorize all Council members to attend the Local Government Leadership Academy Elected Official Seminars, 2023 Association of Vancouver Island and Coastal Communities Convention, 2023 Union of BC Municipalities Convention and 2023 Annual Vancouver Island Economic Summit.	Register Councillors to attend conferences and book accommodation.	Administration	In Progress	Registration and hotel booking will occur when registrations open and hotel blocks are allocated.
Dec-22	Japanese Canadian Pavilion Interpretive Centre, November 2022	THAT Council direct Staff to work with the Ucluelet and Area Historical Society on the open-air pavilion proposal and report back to Council.	Work with the society on the proposal and report back to Council.	Recreation	Complete	Planning Department meet with UAHS Reassigned Sept 5 meeting
Dec-22	Japanese Canadian Pavilion Interpretive Centre, November 2022	THAT Council direct Staff to prepare a letter of support for the Ucluelet and Area Historical Society's application to the Japanese Canadian Legacies Society for funding to create a permanent open-air pavilion which houses interpretive panels that tell the story of Japanese Canadian coastal fishing families in the twentieth century;	Provide letter of support	Recreation	In progress and being researched	Reassigned at Sept 5 meeting
10-Jan-23	Skatepark Lighting Project	It was moved and seconded THAT Council direct staff to defer the Skateboard Lighting Project until grant funding becomes available to fund the project.	Research grant opportunities for Skatepark Lighting Project.	Recreation	In Progress	Staff are monitoring for applicable funding opportunities and will report back to council when funding opportunity is identified.
24-Jan-23	Highway 4 Junction Landscaping	It was moved and seconded THAT Council direct Staff to work with the Ministry of Transportation and Infrastructure on options for the installation of a low maintenance xeriscape for the highway junction islands and report back to Council with costs.	Discuss options with MOTI and report back to Council with costs.	Administration	Deferred	Request made to MOTI. Awaiting information on options. No update as of Sept 2023 from MOTI
24-Jan-23	CMHC Rapid Housing Initiative Grant	It was moved and seconded THAT Council direct staff to continue discussions with community social support service providers with the aim of developing a partnering agreement for the ongoing operation of the housing should the District succeed in obtaining project funding from the current Canada Mortgage and Housing Corporation (CMHC) grant or other sources.	Continue discussion with potential service providers related to operation of housing.	Planning	In Progress	Ongoing, contingent on receipt of grant funding.

09-Feb-23	Development Permit for 449 Matterson Drive - Lot 16 Rental Building	<p>It was moved and seconded THAT Council authorize the Director of Community Planning to execute and issue Development Permit DP22-18 for the property at 449 Matterson Drive to allow the construction of a 48-unit rental apartment building and associated driveways, parking, and landscaping subject to:</p> <p>a) Final registration of the subdivision of the Lot 16 property to create the proposed "lot A" apartment building parcel at 449 Matterson Drive;</p> <p>b) Provision of all on and off-site works required to access and service the 48-unit rental apartment building including but not limited to: roads, sidewalks, landscaping, parking areas, potable water, sewer, storm water management, electrical and data services; and,</p> <p>c) Provision of a landscape deposit for 125% of the estimated costs of hard and soft landscape improvements on the property.</p>	Issue DP once subdivision is complete and other conditions are met.	Planning	Assigned	
26-Feb-23	Pacific Rim Housing Development Corporation	<p>It was moved and seconded THAT Council direct Staff to engage with representatives from the Pacific Rim Housing Development Cooperative and report back to Council on the following questions:</p> <p>Is the project and related District of Ucluelet funding request lawful, given the Cooperative's rules? What are the building costs? What is the requested District of Ucluelet capital investment?</p>	Obtain legal documents from Pacific Rim Housing Development Cooperative and submit for legal review. Report Solicitor opinion to Council.	Administration	Complete	Report presented to Council.
26-Feb-23	2023 - 2027 Draft Five Year Financial Plan (Verbal Report)	It was moved and seconded THAT staff bring back a report to Council on alternative revenue sources.	Present report to Council on alternative revenue sources.	Administration	Complete	Report presented to Council in closed session.
14-Mar-23	Peninsula Road Safety and Revitalization	It was moved and seconded THAT Council direct staff to proceed with the Peninsula Road Safety and Revitalization Project as presented in 23-32 staff report and report back to Council with project phasing options for consideration.	Proceed with the project. Present Council report on phasing options for the project.	Public Works	Complete	JM 2023-09-20
28-Mar-23	Joanne Sales, Executive Director Broom Busters		Coordinate with Broom Busters regarding Broom removal.	Public Works	Assigned	
09-May-23	Rezoning Application 828 Odyssey Lane	<p>It was moved and seconded THAT Council direct Staff to provide a follow-up report on:</p> <p>allowed uses in the Guest House Zone; allowed number of units; and the residency requirement.</p>	Present report to Council.	Planning	Assigned	

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09-May-23	Parking Concerns at 1624 Bay Street	It was moved and seconded THAT Council authorize the installation of a speed-reducing raised crosswalk on Bay Street at the entrance of the Edna Bachelor Park.	Install raised crosswalk.	Public Works	Assigned	Coordinating contractors paving schedule. Hoping for August - JM 2023.07.11
09-May-23	Sanitary Lift Station Bypass Contract	It was moved and seconded THAT Council authorize the Mayor and Corporate Officer to execute a contract for \$156,809 plus G.S.T. between the District of Ucluelet and Ridgeline Mechanical Ltd. to complete the Victoria Road Lift Station bypass installation.	Implement bypass and execute contract.	Public Works	Complete	Contract executed. Work scheduled for September - JM 2023.07.11
09-May-23	Food Bank on the Edge Support Request	It was moved and seconded THAT Council authorize the development of a lease agreement for a portion of the lands commonly referred to as Tugwell Fields between the District of Ucluelet and the Food Bank on the Edge Society for the future location of the Food Bank building.	Notice of disposition, if elector approval is received.	Administration	Assigned	
09-May-23	Food Bank on the Edge Support Request	It was moved and seconded THAT Council authorize the development of a lease agreement for a portion of the lands commonly referred to as Tugwell Fields between the District of Ucluelet and the Food Bank on the Edge Society for the future location of the Food Bank building.	Conduct elector approval process (if required)	Administration	Assigned	Report in Summer 2023.
09-May-23	Food Bank on the Edge Support Request	It was moved and seconded THAT Council authorize the development of a lease agreement for a portion of the lands commonly referred to as Tugwell Fields between the District of Ucluelet and the Food Bank on the Edge Society for the future location of the Food Bank building.	Draft lease.	Administration	Assigned	Removing land from park process underway. Land purchase agreement being drafted.
09-May-23	Food Bank on the Edge Support Request	It was moved and seconded THAT Council authorize the development of a lease agreement for a portion of the lands commonly referred to as Tugwell Fields between the District of Ucluelet and the Food Bank on the Edge Society for the future location of the Food Bank building.	Determine if elector approval is required, and if so, commence elector approval process.	Administration	In Progress	Elector Approval is required. Report in Summer 2023.
09-May-23	Food Bank on the Edge Support Request	It was moved and seconded THAT Council direct staff to amend the 2023 to 2027 Five-Year Financial Plan to reflect an allocation of \$150,000 to the Food Bank on the Edge Society.	Amend Bylaw.	Finance	Assigned	5-yr financial plan will be updated.
09-May-23	Food Bank on the Edge Support Request	It was moved and seconded THAT Council authorize the allocation of \$150,000 to the Food Bank on the Edge Society for the Food Bank building project.	Allocate funds.	Finance	Complete	GL amendment will be processed towards the end of year. Funds provided to Food Bank.
09-May-23	Options for Mobile Vending Regulations	It was moved and seconded THAT Council direct staff to explore options for locating food trucks on public lands in Ucluelet for discussion at a Committee-of-the-Whole meeting (in Fall of 2023 or later).	Present report.	Planning	Assigned	Fall 2023 or winter 2024

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08-May-23	Options for Mobile Vending Regulations	It was moved and seconded THAT Council direct staff to draft bylaw and policy changes for improving the regulation and permitting of mobile vendors in the District of Ucluelet, for discussion at a Committee-of-the-Whole meeting (in Fall of 2023 or later).	Draft and present bylaw and policy changes.	Planning	Assigned	Fall 2023 or winter 2024
08-May-23	Options for Mobile Vending Regulations	It was moved and seconded THAT Council direct staff to prioritize developing a Mobile Vending Policy and reviewing the zoning options for future mobile vending uses ahead of processing individual mobile vendor applications.	Develop policy.	Planning	Assigned	Fall 2023 or winter 2024
08-Jun-23	CMHC Housing Accelerator Fund	It was moved and seconded THAT Council direct staff to prepare an application to the CMHC Housing Accelerator Fund (HAF) program as a strategic priority.	Prioritize application.	Planning	Complete	Application submitted. Decision pending.
08-Jun-23	Ukee Days Annual Road Closure and Noise Bylaw	It was moved and seconded: THAT Council authorize the closing of a portion of Fraser Lane between Main Street and Jamie's Whaling Station from 10:00 a.m. to 10:00 p.m. annually on the last Friday of July, for Ukee Days activities; and, THAT Council authorize the temporary closure of Peninsula Road between Matterson Road and Seaplane Base Road from 10:00 a.m. to 10:45 a.m. annually on the last Saturday of July for the Ukee Days parade; and further,	Promote Ukee Days event and notify the public of the closure.	Administration	Complete	
08-Jun-23	Yuulu?ii?ath Canoe Log	It was moved and seconded THAT Council authorize staff to work with the Yuulu?ii?ath Government on the return of the canoe log, including the existing signage and fencing, to Hitacu.	Work with YG to return canoe, signage and fencing to Hitacu.	Public Works	In Progress	Integrity assesment complete. Scheduling equipment for move date. Will advise UFN in advance of move to allow them to prepare the new location in Hitacu.

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18-Jun-23	DVP for Subdivision Servicing - Lot 16 Marine Drive/ 449 Matterson Drive	It was moved and seconded THAT Council direct Staff to investigate transitioning the future road access point from Victoria Road into the Lot 16 development as an emergency access only.	Present report.	Public Works / F	Assigned	
18-Jun-23	Larch Road Multi-Use Path Design, Costs, and Next Steps	It was moved and seconded THAT Council endorse the Larch Road Multi-Use Path design as presented in report 23- 90 and direct staff to prepare a tender for the construction of the project.	Tender project	Public Works	Complete	JM 2023-09-20
18-Jul-23	June 20, 2023, Committee of the Whole Minutes	It was moved and seconded THAT June 20, 2023, Committee of the Whole Minutes be adopted as amended.	Amend minutes, sign, file and post	Administration	Complete	
18-Jul-23	June 27, 2023, Regular Council Minutes	It was moved and seconded THAT June 27, 2023, Regular Council Minutes be adopted as presented.	Sign, file and post.	Administration	Complete	
18-Jul-23	Environmental Development Permit/Development Variance Permit for 1656 Bay St.	It was moved and seconded THAT Council authorize the Director of Community Planning to execute and issue Environmental Development Permit DP23-03 to allow an addition in an environmental development permit area at 1656 Bay Street .	Issue DP23-03	Planning	Complete	
18-Jul-23	Environmental Development Permit/Development Variance Permit for 1656 Bay St.	It was moved and seconded THAT Council authorize the Director of Community Planning to execute and issue Development Variance Permit DVP23-10 to allow the construction of an addition to a single-family dwelling 16 metres from the natural boundary of a watercourse.	Issue DVP23-10	Planning	Complete	
18-Jul-23	Development Variance Permit for 1333 Pine Road	THAT Council direct Staff to prioritize presenting a report to Council on boulevard parking, including diagonal parking, on Pine Road and the impact on pedestrian and road safety.	Draft report: Council direction required on scope of study re: parking / road safety / access / street character.	Planning	Assigned	strategic priority?
18-Jul-23	Development Variance Permit for 1333 Pine Road	It was moved and seconded THAT Council authorize the Director of Community Planning to execute and issue Development Variance Permit DVP23-08 to waive parking requirements for one B&B room at 1333 Pine Road.	Issue DVP 23-08	Planning	Complete	

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16-Jul-23	Development Variance Permit Application - 1701 Rainforest Lane	It was moved and seconded THAT Council authorize the Director of the Community Planning to execute and issue Development Variance Permit DVP23-06 as amended for the construction of a single-family dwelling and accessory dwelling unit at 1701 Rainforest Lane.	Issue DVP23-06	Planning	Complete	
16-Jul-23	Development Variance Permit Application - 1701 Rainforest Lane	It was moved and seconded THAT Council amend Development Variance Permit DVP23-06 to delete variance 4. a. and 4. b. as presented in Report No. 23-06.	Amend permit.	Planning	Complete	
16-Jul-23	Temporary Use Permit Lot 12 - Black Rock Oceanfront Resort	It was moved and seconded THAT Council direct staff to refer the application to the Wild Pacific Trail Society for comment.	Refer application to WPT for comment	Planning	Complete	
16-Jul-23	Temporary Use Permit Lot 12 - Black Rock Oceanfront Resort	It was moved and seconded THAT Council direct staff to give notice of its intent to issue TUP 22-12 subject to the applicant providing: A detailed arborist's assessment of trees #325, 326, 331, 370, 371 & 375 – 378 with recommendations for their preservation; A detailed landscape plan and security deposit for the preservation and, if necessary, restoration of the trees and understorey along the Marine Drive frontage; and A security deposit in the amount of \$10,000 for the restoration and stabilization of the proposed drainage works.	Issue notice of TUP. Bring back report for public comment and Council consideration	Planning	Complete	
18-Jul-23	Contract Authorization - Village Green Playground Install	It was moved and seconded THAT Council authorize the Mayor and Corporate Officer to execute a \$290,000, plus GST, contract between the District of Ucluelet and Kinsol Timber Systems Ltd. (KinsolPlay) for the Village Green Playground Project.	Execute contract	Recreation	Complete	Install to begin in February
18-Jul-23	Notice of Land Disposition - Strawberry Isle Marine Research Society	It was moved and seconded THAT Council authorize staff to issue a public Notice of Property Disposition for a portion of the lands having the PID 025926691 and legal description Lot 12, Plan VIP76147, District Lot 284, Clayoquot Land District, and more commonly referred to as 334 Forbes Road, by way of lease, for a term of five years with an annual fee of \$10.00 plus gst.	Give notice of lease	Recreation	Completed	Strawberry Island will be moving their c-can in October
18-Jul-23	Proclamation Request - National Drowning Prevention Week Kaelan D'Sena, Communications, Lifesaving Society - BC & Yukon Branch	It was moved and seconded THAT Council direct staff to develop a recognition, awareness and proclamation policy for Councils consideration.	Draft and present policy for Council consideration	Administration	Assigned	

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-Jul-23	Light up in Blue for Prostate Cancer Awareness Month Shelley Werk, Donor Relations, Prostate Cancer Foundation BC	It was moved and seconded THAT Council direct staff to light up the District of Ucluelet sign at the Junction in blue in September to participate in Prostate Cancer Awareness Month and broadcast it across our social media.	Publish Prostate Cancer awareness materials in September on Social Media	Administration	Complete	Blue lights installed/ illuminated on Friday Sept 1, 2023 - SM.
-Jul-23	Light up in Blue for Prostate Cancer Awareness Month Shelley Werk, Donor Relations, Prostate Cancer Foundation BC	It was moved and seconded THAT Council direct staff to light up the District of Ucluelet sign at the Junction in blue in September to participate in Prostate Cancer Awareness Month and broadcast it across our social media.	Light up sign	Recreation	Completed	Sign is lit
-Jul-23	UPDATES: 2024 Convention & Accommodations, Open-Net Pen Transition Plan, Modernized Emergency Management Legislation, UBCM Grant Webinars Association of Vancouver	It was moved and seconded THAT Council authorize Mayor and Council (all five members) to attend the AVICC conference in Victoria, April 12 to 14, 2024, and registration and accommodations be arranged for Mayor and Council by Staff.	Register all Council members to attend conference	Administration	Assigned	Registration for the conference opens in Feb. 2024.
-Jul-23	UPDATES: 2024 Convention & Accommodations, Open-Net Pen Transition Plan, Modernized Emergency Management Legislation, UBCM Grant Webinars Association of Vancouver Island and Coastal Communities	It was moved and seconded THAT Council authorize Mayor and Council (all five members) to attend the AVICC conference in Victoria, April 12 to 14, 2024, and registration and accommodations be arranged for Mayor and Council by Staff.	Book hotel accommodations	Administration	Complete	Hotels booked.
08-Aug-23	Temporary Use Permit - Lot 12 (Black Rock Oceanfront Resort)	It was moved and seconded THAT Council amend Schedule 3 of Temporary Use Permit TUP22-12 as presented in Report No. 23-112 as follows: Condition a): delete the words "seven mature trees"; and Condition e): delete the words "Prior to any site mobilization" and insert the words "Under the direction of a certified arborist".	Update the permit	Planning	Complete	
08-Aug-23	Temporary Use Permit - Lot 12 (Black Rock Oceanfront Resort)	It was moved and seconded THAT Council authorize the Director of Community Planning to execute and issue Temporary Use Permit as amended TUP22-12 to allow the construction of a temporary parking lot and construction staging area for a period of two years on Lot 12 Marine Drive subject to the conditions included in the permit.	Issue TUP as amended	Planning	Complete	
08-Aug-23	Peninsula Road Safety and Revitalization Design and Financing James MacIntosh, Director of Engineering Services	It was moved and seconded THAT Council allocate up to \$1,040,000 from the B.C. Growing Communities Fund (BCGCF) for construction of the storm system replacement.	Allocate funds	Finance	Complete	Budget amendment to occur at end of year. Allocation completed.

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08-Aug-23	Peninsula Road Safety and Revitalization Design and Financing	It was moved and seconded THAT Council direct staff to prepare and issue a tender for construction of the Peninsula Road Safety and Revitalization works and storm system replacement, as presented.	Issue tender	Public Works	In Progress	Final design drawings from 70% to 100% underway; RFP under development. To be issued by mid/end of september.
08-Aug-23	Pacific Rim Housing Development Cooperative Request	It was moved and seconded THAT Council direct Staff to work with the Pacific Rim Housing Development Cooperative to review additional high density housing options.	Staff to work with PRHDC	Administration	Deferred	PRHDC has been advised on considerations for developing higher density developments on district owned lands. Staff are awaiting new information from PRHDC on their future needs/plans. 08/14/2023 No further action anticipated until the District hears back from
08-Aug-23	Winter Lights Purchasing	It was moved and seconded: THAT Council authorize the purchase of commercial Winter Exterior lights from Dekra-Lite Canada without undertaking a full competitive bidding process; and THAT Council approve Option 1 as described in Report No. 23-111 as the preferred decorative pole light.	Purchase lights	Recreation	In progress	Lights are being purchased
08-Aug-23	Salmon Fest Special Event Abigail Fortune, Director of Parks and Recreation	It was moved and seconded THAT Council authorize the use of 160 Seaplane Base Road by the Ucluelet Chamber of Commerce and Redd Fish Restoration Society to host a beer garden in association with a fun run and night market on Sunday, September 10 from 4:00 pm – 8:00 pm.	Issue special event permit	Recreation	Complete	
08-Aug-23	July 18, 2023, Regular Minutes	It was moved and seconded THAT the July 18, 2023, Regular Council Meeting Minutes be adopted as amended.	Update minutes, print, sign and file	Administration	Complete	
05-Sep-23	August 8, 2023, Regular Minutes	It was moved and seconded THAT the August 8, 2023, Regular Council Meeting Minutes be adopted as presented.	Print, sign and file minutes	Administration	Complete	
05-Sep-23	Don MacKinnon Re: Application for Water Connection	It was moved and seconded THAT Council refer this matter to Staff for a future report.	Present report to Council	Public Works	In Progress	Drafting report. Aiming for Oct 10

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05-Sep-23	Finance Officer Appointment Duane Lawrence, CAO	It was moved and seconded THAT Council appoint the Director of Finance as the authorized Collector.	Sign and file certified resolution	Administration	Complete	
05-Sep-23	Finance Officer Appointment Duane Lawrence, CAO	It was moved and seconded THAT Council appoint Bhopinder Gill as the District of Ucluelet Finance Officer effective September 6, 2023.	Sign and file certified resolution	Administration	Complete	
05-Sep-23	Finance Officer Appointment	It was moved and seconded THAT Council rescind the appointment of Duane Lawrence as the District of Ucluelet Finance Officer effective September 5, 2023.	Update CIVIC Info and ucluelet.ca	Administration	Complete	
05-Sep-23	Edge to Edge Marathon Annual Road Closure	It was moved and seconded THAT Council authorize the annual closure of a portion of Marine Drive from Matterson Road to Peninsula Road from 8:30 am to 10:30 am and Marine Drive from Rainforest Drive to Matterson Road from 6:00 am to 5:00 pm for the Edge to Edge Marathon on the third Sunday of October.	Communicate road closure	Administration	Assigned	
05-Sep-23	Larch Road Multi- Use Path Contract Authorization	It was moved and seconded THAT Council authorize the Mayor and Corporate Officer to execute a contract between the District of Ucluelet and Bowerman Construction Ltd. for \$444,104 plus G.S.T. to construct the Larch Road Multi-Use Path.	Sign and file contract	Public Works	In Progress	Expecting contract within the next week or two. JM. 2023-09-20
05-Sep-23	Ucluelet & Area Historical Society Request Claudia Cole, Vice President UAHS	It was moved and seconded THAT Council refer this matter to Staff for a future report.	Present report at future Council meeting	Recreation	Assigned	
05-Sep-23	Transportation Advisory Committee Heather Zenner, MA, Manager of Administrative Services ACRD	It was moved and seconded THAT Council appoint Mayor Marilyn McEwen as the District's representative on the Alberni-Clayoquot Regional District Transportation Advisory Committee.	Update appointments catalogue	Administration	Complete	

Decolonize First: Nuuchahnulth

Community Learning Circles

October 3rd to Oct 24th or November 16th to December 7th

personal and systemic framings and actions to shift out of colonial defaults and into critical consciousness

co-hosted by



ALBERNI CLAYOQUOT
HEALTH NETWORK

Join us! Decolonize First (Nuuchahnulth): Building a practice community towards collective wellbeing!

Limited seats - Register now

ᐱayahᐅu?aaᐱ siiw'a (welcome you (plural))

Welcoming local community builders & caregivers!

Decolonizing First - Nuuchahnulth Learning circle is coming Tuesday afternoons starting October 3rd to October 24th Join us to be a part of the first cohort in our community

Register now at: <https://form.jotform.com/232195682537262>

What is Decolonizing? And why does it matter in our collective work to address stigma and move our work towards more wellbeing for all? This is your invitation to come explore this question.

Join this learning circle of folx across our region who are stepping into their role learning and unlearning what it is to actively "Re-story" forward in active reciprocity.

ACHN and Literacy Alberni Society are inviting folx from across our community & networks interested in stepping into their own new ways of being in innovative leadership and are invited to join us in an online seminar cohort this September to equip yourself with new tools and ways of seeing yourself and the places you work.

As ACHN and Literacy Alberni Society are growing our capacity to consider the differences and nuances of what colonized and decolonized processes look like in our lives, in our work and in our community we are inviting our community into a learning circle series to learn and unlearn how we might better create alternative approaches to our work and collaborations based in wholeness, healing and reducing harm in the ways we work alongside equity-denied communities. We invite you and our colleagues in the hopes that this start to learning and unlearning together will help to build a common collaborative language, framework and practice community.

This seminar has been offered and created transformational change for: The District of Squamish, The City of Vancouver, The Calgary Foundation, Clayoquot Biosphere Trust and countless others on the leading edge of meaningful relationships with Indigenous partners and communities.

The Decolonize First Seminar series is developed by ta7taliya (Michelle Nahanee), a skilled facilitator, a truth teller, and a creator of invitations and opportunities that draw people into essential conversations to start our work.

“With professionalism, personality, she offers all people an invitation into a discussion about colonization and its impacts. Instead of the conversation creating stressful tension, it created curiosity, self-reflection and opened up the group to sharing thoughts and ideas at a deeper level. Not only did we learn about Indigenous history, customs and ways of knowing, we learned more about our shared history and tangible ways we could move forward in building relationship and creating opportunities for reconciliation. Michelle’s work has created a foundation of trust and respect and a new way forward in our relationship with our First Nations colleagues. - Karen Elliot, Mayor, District of Squamish

Can you imagine gifting yourself the learning that offers an expanded view of Tseshaht and Hupacasath territory that more readily allows you to host yourself, host others and consider your way of doing business that lifts up more well being socially and economically? Decolonize First is an intentional start towards that kind of change.

How will this online seminar is structured:

- Weekly calls using Zoom (web-based video conference) and some other fun online tools. Recordings of the calls will be available. Participants will need a computer or tablet with access to the internet to join the Zoom calls and access Basecamp. Headphones or earbuds are also recommended.
- A copy of the Decolonize First workbook
- A pen/pencil, or coloured markers/pencils, and journal/paper for writing.

We look forward to seeing you in the Decolonize First circle!

This offering is co-hosted by Alberni Clayoquot Health Network and Literacy Alberni Society in an ongoing commitment to transformative change and equity in our communities.

For more information please contact:

Lesley Wright, Director of Projects & Programs, Literacy Alberni Society - lesley@literacyalberni.ca
 Marcie DeWitt, Coordinator, Alberni Clayoquot Health Network - achn@acrd.bc.ca

Your Hosting Team:

This unique Nuuchahnulth based offering is stewarded and hosted with the support of ta7taliya by cii?itumqa (Kelly Foxcroft-Poirier) and Amanda Fenton.



September 8, 2023

Dear Mayor and Council,

RE: Municipal Protected Areas Project Webinar – 10 am October 4, 2023

I am contacting you on behalf of BC Nature to inform you of the Municipal Protected Areas Project (MPAP) and to invite you and the appropriate staff to participate in a webinar on the MPAP being held on October 4, 2023.

The MPAP is inspired by Canada's commitment at the 2022 United Nations Biodiversity Conference (COP15) to conserve 30% of our lands and waters by 2030 (30 x 30).

Municipal and local governments' protected areas are home to rich cultural and biological diversity and are integral to achieving Canada's biodiversity commitments, including 30 x 30.

The MPAP gives local governments the tools and resources to register their local protected areas on the Canadian database for protected lands. Taking part in this work will allow your community to demonstrate their conservation efforts on multiple levels ranging from contributing to global biodiversity goals, to enhancing community stewardship of local protected areas, and ensuring your community is well positioned to seek future support and resources for conservation efforts. The MPAP is an opportunity to validate and recognize your community's conservation policies and strategic plans.

We invite you and the appropriate staff to attend a webinar on MPAP being held at 10 am on October 4, 2023 to discover more. We will outline the requirements for candidate sites, how the registration process works, and how we can complete much of this work for you at no cost for your community.

Please RSVP at <https://tcmvqp6mf7d.typeform.com/to/VyOG2JiP>

If you require more information beforehand, please do not hesitate to contact me.

Sincerely,

Stewart Guy
Executive Director
EDirector@bcnature.ca